

A meeting of the **DEVELOPMENT MANAGEMENT PANEL** will be held in the **CIVIC SUITE, PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 16 APRIL 2012** at **7:00 PM** and you are requested to attend for the transaction of the following business:-

### **APOLOGIES**

**1. MINUTES** (Pages 1 - 6)

To approve as a correct record the Minutes of the meeting of the Panel held on 19th March 2012.

**2. MEMBERS' INTERESTS**

To receive from Members, declarations as to personal and/or prejudicial interests and the nature of those interests in relation to any Agenda Item. Please see Notes 1 and 2 below.

**3. STATEMENT OF COMMUNITY INVOLVEMENT** (Pages 7 - 12)

To consider a report by the Head of Planning Services.

**4. DEVELOPMENT MANAGEMENT - OTHER APPLICATION** (Pages 13 - 44)

#### **Hemingford Grey**

Demolition of existing buildings and redevelopment of the site to provide 72 bedroom care home, together with associated landscaping and parking with access from London Road – St. Ives Motel, London Road.

To consider a report by the Planning Service Manager (Development Management).

**5. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT PANEL**

**(a) Houghton and Wyton** (Pages 45 - 54)

Retrospective approval for siting of greenhouse, container and small touring caravan – Two Hoots Farm, Sawtry Way, Wyton.

**(b) Huntingdon** (Pages 55 - 68)

Variation of condition 2.1 of planning permission 0901530FUL to retain existing access on a permanent basis. Variation of Condition 10 of planning permission 1000720REP to provide alternative access via adjacent temporary car park – Redundant Hinchingsbrooke Water Tower, Brampton Road.

- (c) **Ramsey** (Pages 69 - 82)
- Replacement dwelling – Sherwood House, Chapel Drove, Ramsey Heights.
- (d) **Ramsey** (Pages 83 - 102)
- New single storey dwelling, land opposite 11 to 17 Tower Close.
- (e) **Sawtry** (Pages 103 - 112)
- Variation of condition 1 of planning permission 11001875S73 to extend the expiry of temporary use until 28th February 2014 – Spicelands, Old Great North Road.
- (f) **Sawtry** (Pages 113 - 124)
- Erection of Primary Healthcare facility as required by unilateral undertaking which formed part of outline planning permission – land west of 21 Windsor Road.
- (g) **Sibson-cum-Stibbington** (Pages 125 - 142)
- Erection of dwelling and double garage and car port with room above and construction of new access – land at 95 Elton Road, Stibbington.
- (h) **Somersham** (Pages 143 - 156)
- Erection of replacement dwelling and associated works – Greenacres, St. Ives Road.
- (i) **Spaldwick** (Pages 157 - 166)
- Erection of replacement electrical sub-station and associated works – land adjacent 11 Stow Road.
- (j) **St. Neots** (Pages 167 - 186)
- Erection of dwelling with detached double garage and alteration to existing property to include porch link and single garage – land at and including 116 St. Neots Road, Eaton Ford.
- (k) **Abbotsley** (Pages 187 - 196)
- Change of use of land to form camping and touring caravan site – land north of Club House, Abbotsley Golf and Squash Club Ltd, Potton Road.
- (l) **Fenstanton** (Pages 197 - 212)
- Change of use from A1 (retail) to A1 (retail) and A5 (take away) – 28 High Street.



To consider reports by the Planning Service Manager (Development Management).

**6. APPEAL DECISIONS (Pages 213 - 216)**

To consider a report by the Planning Service Manager (Development Management).

**7. SECTION 106 AGREEMENT/CIL UPDATE**

Chairman of the Advisory Group, Councillor R G Tuplin and Head of Planning Services to report.

**LATE REPRESENTATIONS**

To be published on the website – [www.huntingdonshire.gov.uk](http://www.huntingdonshire.gov.uk) on 13th April 2012.

Dated this 4th day of April 2012



Head of Paid Service

**Notes**

1. *A personal interest exists where a decision on a matter would affect to a greater extent than other people in the District –*
  - (a) *the well-being, financial position, employment or business of the Councillor, their family or any person with whom they had a close association;*
  - (b) *a body employing those persons, any firm in which they are a partner and any company of which they are directors;*
  - (c) *any corporate body in which those persons have a beneficial interest in a class of securities exceeding the nominal value of £25,000; or*
  - (d) *the Councillor's registerable financial and other interests.*
2. *A personal interest becomes a prejudicial interest where a member of the public (who has knowledge of the circumstances) would reasonably regard the Member's personal interest as being so significant that it is likely to prejudice the Councillor's judgement of the public interest.*

**Please contact Ms C Deller, Democratic Services Manager, Tel No. 01480 388007/e-mail: [Christine.Deller@huntsdc.gov.uk](mailto:Christine.Deller@huntsdc.gov.uk). If you have a general**

query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Panel. However, if you wish to speak at the Panel's meeting regarding a particular Agenda Item please contact Jackie Holland - Tel No. 01480 388418 before 4.30pm on the Friday preceding this meeting.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the District Council's website – [www.huntingdonshire.gov.uk](http://www.huntingdonshire.gov.uk) (*under Councils and Democracy*).

If you would like a translation of  
Agenda/Minutes/Reports or would like a  
large text version or an audio version  
please contact the Democratic Services Manager and  
we will try to accommodate your needs.

***Emergency Procedure***

*In the event of the fire alarm being sounded and on the instruction of the Meeting Administrator, all attendees are requested to vacate the building via the closest emergency exit.*

# Agenda Item 1

## HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT PANEL held in the Civic Suite, Pathfinder House, St. Mary's Street, Huntingdon, PE29 3TN on Monday, 19 March 2012.

PRESENT: Councillor D B Dew – Chairman.

Councillors Mrs B E Boddington,  
P L E Bucknell, G J Bull, E R Butler,  
W T Clough, J J Dutton, N J Guyatt,  
R B Howe, Mrs P J Longford, P D Reeve,  
R G Tuplin, P R Ward and R J West.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors P A Swales and P K Ursell.

IN ATTENDANCE: Councillors B S Chapman, I J Curtis, J W Davies, R S Farrer and A H Williams. .

### 62. MINUTES

The Minutes of the meeting of the Panel held on 27th February 2012 were approved as a correct record and signed by the Chairman.

### 63. MEMBERS' INTERESTS

Councillor D Dew declared a personal and prejudicial interest in Minute No. 64(a) by virtue of his close acquaintance with the applicants and left the room during discussion and voting thereon.

Councillor N J Guyatt declared a personal and prejudicial interest in Minute No. 64(a) by virtue of his close acquaintance with the applicants and addressed the Panel on the application before leaving the room during discussion and voting thereon.

Councillor P L E Bucknell declared a personal interest in Minute No. 64(a) by virtue of an acquaintance with the applicants.

Councillors J J Dutton and R J West declared a personal interest in Minute No. 64(a) by virtue of their acquaintance with one of the applicants as colleague Members of Cambridgeshire County Council.

Councillor P D Reeve declared a personal interest in Minute No. 64(g) by virtue of his membership of Ramsey Town Council.

### 64. DEVELOPMENT MANAGEMENT

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Panel and advised Members of further representations (details of which also are appended in the Minute Book) which had been received in connection

therewith since the reports had been prepared. Whereupon, it was

## RESOLVED

in the light of the personal and prejudicial interests declared by the Chairman, Councillor D B Dew, Councillor P L E Bucknell, Vice-Chairman acted as Chairman of the Panel for the ensuing application.

### **Councillor P L E Bucknell in the Chair.**

- (a) **Erection of 2 proposed “Eco-Homes”, to be constructed to level 5, land north of Hillside View, Somersham Road, St. Ives – 12/00210/FUL**

*(See Minute No. 63 for Members’ interests.)*

*(Councillor K Reynolds, applicant addressed the Panel on the application.)*

that the application be refused for the following reasons:-

there is no essential functional rural need to justify the provision of the proposed dwellings within this countryside location. The sustainability credentials of the design of the proposed dwellings combined with the cessation of the existing storage use of the site would fail to outweigh the inherently unsustainable location of the site for housing where opportunities to make necessary journeys by foot, cycle or public transport are severely limited and where future occupiers would be wholly reliant on private transport to access nearly all services, employment and facilities. As such the proposal would constitute an unsustainable form of residential development and would lead to an unjustifiable increase in new housing development within the countryside which would be incongruous in this location and detrimental to the rural character and appearance of the countryside which should be preserved for its own sake. For these reasons, the proposal would be contrary to Planning Policy Statement Nos 1, 3, and 7 and policies ENV7 and SS1 of the East of England Plan – Revision to the Regional Spatial Strategy, May 2008, policies En25, H23 and En17 of the Huntingdonshire Local Plan, 1995, policies CS1 and CS3 of the adopted Huntingdonshire Local Development Framework Core Strategy 2009 and policies E1, E8 and P7 of the Proposed Submission 2010.

### **Councillor D B Dew in the Chair**

- (b) **Demolition of existing entrance and proposed extension to include new entrance, party room, office, restaurant and fitness suite for St. Ives Leisure Centre, St. Ivo Recreation Centre,**

**Westwood Road, St. Ives – 12/00019/FUL**

*(Councillor J J Dutton declared a personal interest in the application as a Member of the District Council's Leisure Forum.)*

*(Mr T Smith, objector and Mr S Bell, applicant addressed the Panel on the application.)*

that the recommendation be approved subject to conditions to be determined by the Head of Planning Services to include those listed in paragraph 8 of the report now submitted to include time limit (3 years), material samples and hard and soft landscaping.

**(c) Residential development with access road, open space and balancing pond, including demolition of existing buildings, Houghton Grange, Houghton Hill, Houghton, Huntingdon – 11/01937/OUT**

*(Councillor Mrs H Merryweather, Houghton and Wyton Parish Council, Councillor A Williams, Ward Councillor and Mr M Page, agent addressed the Panel on the application.)*

- (i) that, having been advised of the views of the Section 106 Agreement Advisory Group, the Head of Legal and Democratic Services be authorised to enter into an Agreement under Section 106 of the Town and Country Planning Act 1990 to secure the contributions detailed in paragraphs 7.56 – 7.82 of the report now submitted;
- (ii) that, subject to the completion of the Agreement referred to in resolution (i) above, the application be approved subject to the conditions to be determined by the Head of Planning Services as listed in paragraph 9 of the report now submitted.

**(d) Hybrid application for outline planning permission (with all matters reserved for subsequent approval) for 110 houses and full planning permission for a foodstore, 6 retail units to provide A1, A2, A3 and A5 uses, a service yard, associated car parking and access, land north of Cambridge Road, St. Neots – 11/01368/OUT**

*(Councillor B S Chapman, Ward Councillor, Councillor R S Farrer, adjacent Ward Councillor and Mr C Jones, objector addressed the Panel on the application.)*

- (i) that, having been advised of the views of the Section 106 Agreement Advisory Group and variations in the contributions negotiated towards primary health care, education and wheelie bins which now amount to £36,375, £485,800 and £4,290 respectively, the Head of Legal and

Democratic Services be authorised to enter into an Agreement under Section 106 of the Town and Country Planning Act 1990 to secure the contributions detailed in paragraph 7.20 – 7.24 of the report now submitted;

(ii) that, subject to the completion of the Agreement referred to in resolution (i) above, the application be approved subject to conditions to be determined by the Head of Planning Services as listed in paragraph 8 of the report now submitted;

(e) **Change of paddock land to residential curtilage, land east of Newlands, Huntingdon Road, Wyton – 12/00121/FUL**

*(Councillor A Williams, Ward Councillor and Mr J Runchman, applicant addressed the Panel on the application.)*

that the application be refused for the following reason:-

the proposed development is considered to fail to comply with relevant national and local planning policy and is unacceptable in principle, being unjustified development in the countryside which would by the domestication of the site and the associated activity harm the character and appearance of the countryside contrary to policies ENV7 of the East of England Plan - Revision to the Regional Spatial Strategy, May 2008, En17 of the Huntingdonshire Local Plan, 1995, policies CS1 and CS3 of the Huntingdonshire Core Strategy, 2009 and policies E1, E2 and P7 of the Huntingdonshire Development Management DPD: Proposed Submission 2010 and Planning Policy Statement Nos. 1 and 7.

(f) **Removal of Condition 1 of Planning Permission 08/02744/FUL to make permission permanent. Variation of Condition 3 of planning permission 08/02744/FUL to allow a caravan and mobile home on-site for retention of use of land as a caravan site for gypsy and traveller residential purposes, pumping station, Paxton Road, Offord D'Arcy – 12/00062S73**

*(Councillor R Bartlett, The Offords Parish Council addressed the Panel on the application.)*

that, on the understanding that no new material considerations are submitted prior to the expiry of the neighbour consultation period, the Head of Planning Services be authorised to determine the application subject to conditions to include those listed in paragraph 8 of the report now submitted and additionally to prevent the occupation of the touring

caravan whilst it is on-site.

- (g) **Erection of two-storey detached dwelling and creation of new vehicular access, land at 10 Hollow Road, Ramsey Forty Foot – 12/00085/FUL**

*(Councillor I J Curtis, Ramsey Town Council, addressed the Panel on the application.)*

that the application be refused for the following reason:-

this undeveloped site provides a transition from the settlement to the open countryside to the east. The proposed dwelling would extend the existing built form of the village and, as the site is considered to relate more to the countryside than the built-up area of the settlement, constitutes a new dwelling in the countryside without justification of a rural need. As such the proposal would be contrary to Planning Policy Statement Nos. 1 and 7, policy CS3 of the Adopted Core Strategy 2009 and policies E1, E2 and P7 of the Development Management DPD Proposed Submission 2010.

- (h) **Change of use from office and storage/distribution to B1 (light industrial) and/or B2 (general industrial) and/or B8 (storage and warehousing), Unit 26, Stephenson Road, St. Ives – 11/02066/FUL**

*(Councillor J W Davies, Ward Councillor, Mr P Wadsworth, objector and Mr M Page, agent addressed the Panel on the application.)*

that the application be approved subject to conditions to be determined by the Head of Planning Services to include those listed in paragraph 8 of the report now submitted and in addition to restrict opening hours to 07.00 – 20.00 Monday to Friday and 07.00 – 18.00 on Saturday.

- (i) **Erection of multi-use community centre with associated hard and soft landscaping and cycle parking, land south of Rowley Park, Kester Way, St. Neots – 11/01021/FUL**

*(Councillor B S Chapman, Ward Councillor and Councillor R S Farrer, adjacent Ward Councillor addressed the Panel on the application.)*

that the application be approved subject to conditions to be determined by the Head of Planning Services to include those listed in paragraph 8 of the report now submitted.

- (j) **Change of use from amenity land to domestic garden land, 55 School Road, Warboys –**

**11/02129/FUL**

that, contrary to the recommendation of the Head of Planning Services, the application be refused for the following reason –

the proposed development would detract from the open character and appearance of the area contrary to policies E1 and E7 of the Development Management DPD Proposed Submission 2010.

**65. APPEAL DECISIONS**

By reference to a report by the Planning Service Manager (Development Management), the Panel noted the outcome of nine appeals against refusal of planning permission by the District Council and the reasons for refusal in respect of two of the more notable cases.

Members were pleased to note that the Inspector had dismissed the appeal against the Council's decision to refuse an application for four wind turbines on land west of Bicton Industrial Park, near Kimbolton but that the outcome of the appeal against the application for four wind turbines at Woolley Hill north of Ellington still was awaited.

Chairman



**COMT**  
**OVERVIEW & SCRUTINY (Environmental Wellbeing)**  
**DM PANEL**  
**CABINET**

**26<sup>th</sup> March 2012**  
**10<sup>th</sup> April 2012**  
**16<sup>th</sup> April 2012**  
**19<sup>th</sup> April 2012**

## **STATEMENT OF COMMUNITY INVOLVEMENT (Report by Head of Planning Services)**

### **1. INTRODUCTION**

1.1 This report recommends that a new Statement of Community Involvement (SCI) is approved to replace the existing 2006 SCI. A draft new SCI has been prepared and was consulted on between 3 February and 16 March 2012. Some 23 comments from 13 organisations and individuals have been received. Taking into account comments received, and any additional comments from the Overview and Scrutiny (Environmental Wellbeing) Panel, and the Development Management Panel, the document can be approved with any necessary amendments.

### **2. BACKGROUND**

2.1 Preparation of a Statement of Community Involvement is a requirement on Council arising from the Planning and Compulsory Purchase Act 2004. Initially, Councils were required to prepare a draft SCI and have it independently examined by a Planning Inspector. This Council duly prepared such an SCI which was examined and then adopted in October 2006. The requirement for independent examination was removed in 2009. However, it is still necessary to have an approved SCI.

2.2 In an Equality Impact Assessment prepared in 2009 it was noted that the 2006 SCI was becoming dated and an action was identified to update it by 2012. Given the new Local Plan process agreed by Cabinet in December 2011, now is an opportune time. The Inspector who examines the Local Plan will consider whether the plan has been prepared in accordance with the SCI.

2.3 The SCI's fundamental purpose is to set out how planning matters are consulted on. The focus of the draft SCI is on the new Local Plan process, although the procedures for other policy documents and consulting on planning applications are also covered.

2.4 The SCI fits with the Council's Corporate Consultation and Engagement Strategy. That document was approved by Cabinet in February 2008 and is at a higher level such that the two do not conflict.

2.5 The draft SCI states that the Council will encourage public participation within the context of available resources and the potential for 'consultation fatigue'. The Local Plan will be prepared with consultation stages on the Sustainability Appraisal Scoping Report (which has already occurred), key principles and evidence, draft proposals and then publication. At the publication stage comments can only be made on the issues of soundness as the plan will be ready for examination. The timetable for these is set out separately in the

Local Development Scheme, approved by Cabinet in February 2012 and now on our website.

- 2.6 In respect of other planning documents such as Supplementary Planning Documents and Urban Design Frameworks, it is noted that there will be at least one period of public consultation prior to approval by Cabinet.
- 2.7 The procedures for planning applications follow relevant legislation and the series of advice notes available on our website.
- 2.8 A consultation summary will be prepared for publication with the final SCI.

### **3. ISSUES RAISED IN COMMENTS**

- 3.1 Appendix A summarises observations and objections received and the officer response in respect of them. In addition to those in the appendix, several respondents noted general support for the draft SCI.
- 3.2 In respect of policy issues, comments show an interest in the way that Council will engage on strategic issues and the methods of consultation. The support that Council can give for neighbourhood planning is also noted.
- 3.3 Comments on the process for considering planning applications mostly relate to how applications can be viewed online and how objectors can be heard. The Council has comprehensive systems in place which are continually being reviewed and improved where appropriate.
- 3.4 Overall it is considered that the draft SCI is fit for purpose and no amendments are required as a result of the consultation. Subject to comments from the Development Management Panel, Overview and Scrutiny and Cabinet, the procedures and processes can be finalised to guide consultation on planning issues.

### **4. RECOMMENDATION**

- 4.1 It is recommended that Cabinet authorises the Executive Councillor for Strategic Planning and Housing, in conjunction with the Chairman of the Development Management Panel and the Head of Planning Services, to finalise and approve the Statement of Community Involvement.

#### **Appendix A: Consultation Summary**

##### **Background Information**

The consultation document and full comments are available on the Council's consultation portal: <http://consult.huntingdonshire.gov.uk/portal>

The Local Development Scheme is on the Council's website:

<http://www.huntingdonshire.gov.uk/Planning/Planning%20Policy/Pages/Local%20Development%20Scheme.aspx>

**CONTACT OFFICER** - enquiries about this report to Paul Bland, Planning Services Manager (Policy) on 01480 388 430

**APPENDIX A  
CONSULTATION SUMMARY**

<b>Summary of Comments</b>	<b>District Council Response</b>
<b><u>Policy Issues</u></b>	
<p>Strategic scale proposals should be subject to public consultation before being included in a draft Local Plan.</p> <p>Council should publish a diary of meetings with developers and presentations on strategic scale issues.</p>	<p>Strategic scale proposals such as that at Alconbury Airfield will be outlined at the key principles and evidence stage prior to inclusion in the draft Local Plan. A diary of all meetings would not be practical.</p>
<p>Cooperation with neighbouring councils, including the County Council, is supported.</p> <p>The impact of neighbouring developments such as the proposed Great Haddon will need to be taken into account in the Local Plan.</p>	<p>Draft paragraph 4.2 recognises the need for cooperation. The duty to cooperate is a legal requirement under the Localism Act and the impact of neighbouring proposals will be considered in producing the Local Plan.</p>
<p>An Appendix should be included listing all the groups included on the policy consultation database. The process for being added to the list should be noted.</p>	<p>There is an example of another Council listing groups on their website (Mid Sussex) but most other Councils have not. The list would quickly become out of date so the website would need to be updated regularly. The list would have to be limited to key contacts rather than all individuals, but there could be issues of Data Protection. The SCI indicates how people can put themselves on the consultation database. It is not considered necessary to also have a public list of who is on it.</p>
<p>Cambridgeshire Local Access Forum should be added to the list of those consulted with for all policies that have implications for access, recreation and rights of way.</p>	<p>A relevant email address has been added by the consultee to the consultation database and therefore the Cambridgeshire Local Access Forum will receive automatic notifications of policy consultations.</p>
<p>Engagement other than through the online portal is to be encouraged. The Federation of Small Businesses would be happy to support the authority in business engagement, for example by facilitating business focus groups where local plan activities have a significant impact on the business environment i.e. town centre or major employment sites.</p>	<p>The SCI supports additional means of engagement. The support of the Federation of Small Businesses is welcomed.</p>
<p>Neighbourhood Plans may be difficult to produce. Guidance and support may be needed.</p>	<p>Draft paragraph 5.3 recognises that Council will need to provide guidance and support.</p>

Summary of Comments	District Council Response
<b><u>Planning Application Issues</u></b>	
<p>Consultation with neighbours should be required prior to applications.</p> <p>Pre-application consultation for small applications as well as large can save time and money. Are applicants already being encouraged to consult with neighbours and the local town or parish councils as early as possible?</p> <p>Written materials exchanged under preliminary enquiries relevant to a later application should be publicly available.</p>	<p>The Localism Act only requires consultation on very large scale developments at the pre-application stage. The Council cannot require consultation with neighbours for all applications, although it is encouraged. The Council's Pre-Application Advice Notes specifically encourage prospective applicants to consult with any neighbours and the local Town/Parish Council. Routinely making enquiries public would discourage some early pre-application discussions. Many people, for many reasons, would rather their enquiry is not revealed in advance of the submission of an application and particularly during the early stages of a prospective proposal. Many enquiries are indeed not followed by applications.</p>
<p>Applications should be available to view online within 2 days of validation.</p>	<p>Since the recent introduction of the Electronic Document Management (EDM), applications are available to view within 2 days of the consultation/notification letters being sent out.</p>
<p>Viewing planning application files has recently been made slower by replacement of the 'interface'. This should be improved.</p>	<p>It is understood that the replacement of concern on the Public Access system was made last year when the system was upgraded. Although this makes some viewing slower, other aspects have been improved. The Public Access software is bought as a package.</p>
<p>Discharge of condition applications should be given a different type of reference number to distinguish them on the planning portal.</p>	<p>Recent improvements to ensure that all documents displayed on the website are clearly described will ensure that it is easy to distinguish each conditions discharge submission from other documents.</p>
<p>It would be useful to have all 'consultee' responses to planning applications showing as is being done in Kings Lynn and West Norfolk.</p>	<p>All comments received have been displayed on Public Access on the Council's website since the beginning of this year. A specific system for statutory consultees may be possible at some time in the future as the Council is continually working to improve the experience for those viewing and responding to applications.</p>
<p>Stakeholders should be notified whenever there are significant changes to application plans that have already been consulted on.</p>	<p>Reconsultation/renotification is carried out if significant changes to a proposal are to be considered.</p>
<p>Consultation should be thoroughly carried out. More</p>	<p>The views of local residents are given very careful consideration and are</p>

<p>attention should be given to the views of local residents. Comments should not be readily overruled. Objectors should be made aware of their right to be heard at Development Management Panel. Guidance on rights to be heard could be included in District Wide or sent out with the annual Council tax bill.</p>	<p>summarised and considered in the officer report published on the website for all applications. When an application is referred to the Development Management Panel, objectors are sent a letter advising them of their right to address the Panel. The 'Your Right to Speak at Development Management Panel on planning applications' leaflet is available on the Planning Applications page on the Council's website. The Council no longer produces a District Wide magazine and it is not considered appropriate to include advice on this detailed matter with the annual Council tax bill.</p>
<p><b>Summary of Comments</b></p>	<p><b>District Council Response</b></p>
<p><b><u>Monitoring and Review Issues</u></b></p>	
<p>Paragraph 7.2 should describe what is considered a suitable manner for private consultations to be carried out, as it states that Council's approach may be amended where private consultation has been carried out in a suitable manner and the results made publicly available. .</p>	<p>It may be that the Council will not need to carry out consultation on an issue which has already been consulted on. The suitability of private consultation will need to be considered in relation to the complexity of the issue. The public availability of the results is important and the level of public response will help inform whether there is a need for additional consultation.</p>

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**Case No:** 1102099FUL (FULL PLANNING APPLICATION)

**Proposal:** DEMOLITION OF EXISTING BUILDINGS AND REDEVELOPMENT OF THE SITE TO PROVIDE 72 BEDROOM CARE HOME, TOGETHER WITH ASSOCIATED LANDSCAPING AND PARKING WITH ACCESS FROM LONDON ROAD

**Location:** ST IVES MOTEL LONDON ROAD ST IVES PE27 5EX

**Applicant:** CARE UK COMMUNITY PARTNERSHIPS

**Grid Ref:** 530769 270290

**Date of Registration:** 04.01.2012

**Parish:** HEMINGFORD GREY

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## RECOMMENDATION - APPROVAL

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application is before the Panel as it relates to a major form of development that the Head of Planning Services considers should be determined by Members.
- 1.2 The site, subject of this application, extends to 0.51 hectares and is known locally as St Ives Motel. The site comprises a single storey building made up of a motel and a range of buildings comprising 16 letting rooms, set back from London Road. The permitted use of the frontage building is used as a public lounge, conference facilities and a restaurant. However, the motel is not in active use and has recently been marketed for redevelopment.
- 1.3 The land is situated toward the northern end of London Road, also known as the A1096, the main thoroughfare from the A14 to St. Ives. To the north of the site is The Limes, a grade 2 listed building and a residential development. To the west of the site is The Brambles, again a residential development. Immediately to the south of the site is a green easement and beyond that a recently constructed residential development by Linden Homes, known locally as the 'Yes' development. The site lies adjacent to the St. Ives Conservation Area and lies in EA floodzones 2 and 3.
- 1.4 The proposal is to demolish the existing motel buildings and erect a 72 bedroom care home described by the applicant as being for "72 frail and elderly persons". It will include ancillary administration, catering and housekeeping accommodation. The layout also incorporates smaller facilities such as a hairdresser, village shop, gym and cinema room, referred to on the plan as an 'internal village'. The building will range from 2.5 stories in height to 3 stories and will be approximately 11.9m high at the building's tallest point. The wider site will utilise the existing vehicular access from London Road and

26 car parking spaces will be provided to the north and east of the building, inclusive of disabled parking. 14 Cycle spaces and an ambulance waiting area will also be provided. The applicant has also included a travel plan and a statement of public consultation (undertaken privately by the applicant prior to the submission of a planning application.)

## **2. NATIONAL GUIDANCE**

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.
- 2.2 Technical Guidance to the National Planning Policy Framework (2012) provides additional guidance on development in areas at risk of flooding and in relation to mineral extraction.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

## **3. PLANNING POLICIES**

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

- 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents
- **SS1:** "Achieving Sustainable Development" – bring about sustainable development by applying guiding principles of UK Sustainable Development Strategy 2005 contributing to the creation of sustainable communities.
  - **ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration
  - **ENG1:** "Carbon Dioxide Emissions and Energy Performance" – for new developments of 10+ dwellings or 1000sqm non residential development a minimum of 10% of their energy should



be from decentralised and renewable or low carbon resources unless not feasible or viable

- **T2:** “Changing Travel behaviour” – bring about change in travel behaviour including a reduction in distances travelled.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **En2:** “Character and setting of Listed Buildings” - indicates that any development involving or affecting a building of architectural or historic merit will need to have proper regard to the scale, form, design and setting of that building
- **H43:** “Hostels and Homes” – Special communal housing needs for the physically and mentally handicapped, the homeless, elderly and other individuals and households in stress within existing communities will normally be encouraged.
- **En18:** “Protection of countryside features” – Offers protection for important site features including trees, woodlands, hedges and meadowland.
- **En20:** Landscaping Scheme. - Wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.
- **CS5:** Health and Social Care – the development, improvement and extension of facilities for health and social care in the community will normally be permitted subject to environment and traffic considerations.
- **CS9:** “Flood water management” – the District Council will normally refuse development proposals that prejudice schemes for flood water management.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

- None relevant.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** “Sustainable development in Huntingdonshire” – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development. Including reducing water consumption and wastage, minimising impact on water resources and water quality and managing flood risk.
- **CS3:** “The Settlement Hierarchy” – identifies London Road (St Ives) as a smaller settlement in which residential infilling will be appropriate within the built up area.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **C1:** “Sustainable Design” – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.
- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy C3, in order to protect the surrounding countryside and to promote wider sustainability objectives.
- **E3:** “Heritage Assets” – proposals which affect the District’s heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.
- **E4:** “Biodiversity and Protected Habitats and Species” – proposals should aim to conserve and enhance biodiversity. Opportunities should be taken to achieve beneficial measures within the design and layout of the development. Developments will be expected to include measures that maintain and enhance important features.
- **E5:** “Trees, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value and these should be incorporated effectively within the landscape elements of the scheme wherever possible.
- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1

'Parking Provision'. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.

- **H3:** "Adaptability and Accessibility" – the location and design of development should consider the requirements of users and residents that are likely to occur during the lifetime of the development.
- **H4:** "Supported Housing" – proposals for new supported housing will be located within the existing built up area of Smaller Settlements where a need for such a location can be demonstrated and enable shops, public transport, community facilities and medical services to be reached easily by those without a car, as appropriate to the needs and level of mobility of potential residents.
- **H7:** "Amenity" – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.
- **C5:** "Flood Risk and Water Management" – development proposals should include suitable flood protection / mitigation to not increase risk of flooding elsewhere. Sustainable drainage systems should be used where technically feasible. There should be no adverse impact on or risk to quantity or quality of water resources.

3.7 Supplementary Planning Document:

The Huntingdonshire Design Guide 2007  
The Landscape and Townscape Assessment 2007  
St Ives Conservation Area Character Assessment 2007

#### 4. PLANNING HISTORY

- 4.1 There is extensive history relating to the motel use of the site which is not directly relevant to this proposal. However, application 1101542FUL – erection of 80 bed care home was withdrawn following initial concerns raised by officers regarding the scale of the development and relationship to the site features and side boundaries and frontage to London Road. This current application has been submitted to address these concerns.

#### 5. CONSULTATIONS

- 5.1 **Hemingford Parish Council - recommends approval** and defers to statutory consultees with regard flooding, sewerage and parking matters (COPY ATTACHED)
- 5.2 St. Ives Town Council – Recommends approval (COPY ATTACHED)
- 5.3 Environment Agency – recommend approval subject to conditions relating to floor levels and surface water drainage
- 5.4 Cambs County Council Highways – Recommend approval subject to conditions relating to highway crossover (inc. drainage details),

details of parking area, temporary facilities during construction, visibility splays, off site highway improvement works.

- 5.5 NHS Cambridgeshire – confirm that they do have capacity to provide primary medical services to residents of the care home and support this application.
- 5.6 Cambs Archaeology – no objection subject to a condition to ensure an archaeological investigation is carried out.
- 5.7 HDC Environmental Health – recommend a noise assessment is carried out having regard for the amenity of future occupiers. They also advise a condition to ensure that the development is carried out with the land contamination report submitted as part of the application.

## **6. REPRESENTATIONS**

- 6.1 6 letters of objection from residents of Limes Park and 1 letter of objection on behalf of the Limes Park Management Company. Objections raised are:

- \* Lack of onsite parking for staff and visitors
- \* Flooding matters
- \* Pile driving will be detrimental to the Limes.
- \* Existing trees should be preserved and landscaping should be used to obscure metal fencing and refuse storage area.
- \* A 3 storey development will overwhelm the Limes
- \* Cramped form of development.
- \* Scale of Development.
- \* Impact on property values.
- \* Impact on peoples' privacy
- \* The kitchens, laundry etc is on the northern boundary and could be a source of nuisance to residents of the Limes.

## **7. SUMMARY OF ISSUES**

- 7.1 The main issues for consideration are: the principle of development; scale, design and layout of the development and impact on the adjacent listed building and conservation area; landscaping; impact on residential amenity; highway matters; flooding matters; sustainability matters; and archaeology.

### **The principle:**

- 7.2 Local Plan policy H43 and DMDPD policy H4 provide support for supported housing. This site is considered to lie in the built up area of the smaller settlement of London Road (St Ives) and adjacent to the market town of St. Ives. This site lies just over 1km from the town centre of St. Ives, where there is a wide range of amenities and a number of doctor surgeries. For visitors and staff to the site, the Guided Bus provides a direct link between Huntingdon, St. Ives and Cambridge, including Addenbrookes hospital. There are also bus stops near the development which provides a local bus link to St. Ives and access to non-guided buses travelling to Cambridge. This site is considered to lie in a sustainable location and redevelopment of this site for a care home is acceptable in principle.

**Scale, design and layout of the development and impact on setting of the Conservation Area and adjacent listed buildings:**

- 7.3 Since the withdrawal of the previous application the applicant has stepped the frontage of the care home further back in the site. Currently the boundary between the development and the Limes comprises mature, tall landscaping and this landscaping limits the long distance views of the Limes. However, through negotiations, the applicant has amended this detail, to allow for new landscaping along the eastern and northern boundaries, providing an opportunity to provide longer distance views across the mature setting of the Limes on the approach to St. Ives.
- 7.4 The building has been designed to recognise and respect the constraints of the site, namely that it is long and narrow and contains mature trees . The traditional frontage which is 2.5 stories in height has been designed with curved windows and a hipped roof to reflect design features within the Limes. The building goes on to rise to a 3 storey modern element as the building extends to the west. Glazing has also been used to maximise solar gain, particularly from the west. The fork design of the building to the rear respects the existing willow tree which is a dominant feature to the rear of the site. The applicant has intentionally designed the building with lower eaves and 3rd floor accommodation within the roof space and this reduces the perceived overbearing impact this building will have on the Limes.
- 7.5 Having regard for the scale of development, this proposal will be 11.9m tall at the building's tallest point, when measured from London Road. This is inclusive of the elevated position of the building to overcome flood risk matters. For the avoidance of doubt, the numerical detail shown on the plans refers to levels, (Ordnance Datum Newlyn) used by the EA to establish ground levels for flood risk management.
- 7.6 The adjacent development to the south, known locally as the 'Yes' development or LEL site comprises of mainly 2 and 3 storey residential buildings. The Limes to the north is a converted, two storey former Workhouse building. The design of the building within the context of the streetscene along London Road has evolved through the negotiations held between the Applicants and Officers. It is considered that the scale of the building is well proportioned within this context and is in keeping with the surroundings.
- 7.7 As part of the proposal, the applicant has included a street scene, showing that the overall height of the development will be lower than the tallest point in the Limes. Taking into consideration that the building has been set back and the height will not exceed the height of the tallest building within the Limes, it is considered that this proposal will not be detrimental to the character and appearance of the adjacent Conservation Area or the setting of the adjacent listed buildings.
- 7.8 This proposal accords with Policies En5, En9 and En25 of the Huntingdonshire Local Plan 1995 and policy E3 of the Huntingdonshire Development Management DPD: Proposed Submission 2010.

### **Landscaping:**

- 7.9 As part of the application, a tree survey has been submitted and discussions have taken place between the application and the Council's tree officer. There is no objection to the landscaping as proposed and conditions will be attached to ensure that the works are carried out in accordance with the approved details. A condition requiring details of the boundary treatment will also be required.

### **Residential Amenity:**

- 7.10 The properties in the Limes that are nearest this site are approximately 18m from the common boundary of the site and will be approximately 26.9m from the northern elevation of the building, separated by the common boundary. The dwellings in this part of the Limes are also separated by way of rear gardens, garages and a gravel vehicular access to those dwellings. As such there is considered to be no significant overlooking impacts caused through the proposal to the detriment of neighbouring amenity.
- 7.11 Neighbours have raised concerns with regard to pile driving equipment being used on the site. Redevelopment of this site for any form of development will require the use of heavy machinery and pile driving may be required for works in close proximity to boundaries and to prevent harm to retained trees. The nearest listed building within the Limes is approximately 18m metres from the common boundary with the development site. Due to the narrow shape of the site it is considered reasonable to require details of the construction methods including hours of construction for the wider site. The applicant is legally required to ensure that this development will not harm adjacent properties and therefore, physical damage to property would be a private civil matter between the residents of the Limes.
- 7.12 Concerns have been expressed from neighbours regarding the potential noise and nuisance arising from the kitchens, as they will be to the north of the building. The kitchen is at ground floor level and is proposed to be positioned approximately 11.5 metres from the shared boundary at its nearest point. Cycle and car parking areas along with the boundary treatment separate this part of the building to The Limes. As referred to above the residential units within the Limes are approximately 18 metres from the common boundary of the site. As such the total separation distance will be approximately 29.5 metres between the kitchen and the neighbouring dwellings. This is considered sufficient to not result in a significant adverse impact on the amenities of the neighbouring properties.
- 7.13 Also, in the interests of residential amenity, the applicant has indicated that the green roof area shown on the plan of the 2nd floor will not be accessible. This will be conditioned for the avoidance of doubt.
- 7.14 HDC Environmental Health are concerned that the road noise from London Road could be harmful to the amenity of future occupiers of the frontage building. With that in mind a condition will be included to ensure a noise assessment is submitted and approved by the local planning authority.

- 7.15 Details of the boundary treatment will be conditioned to be agreed with the Local Planning Authority, to further mitigate any concerns relating to the kitchen. Should a nuisance become a statutory nuisance, it would be addressed through Environmental Health legislation. It is therefore considered that it would not be sustainable to refuse this proposal on the grounds of impact on residential amenity.

**Highway Matters:**

- 7.16 The Huntingdonshire DMDPD advises that this development should provide a maximum of 48 parking spaces. The total proposed is 26 car parking spaces and 14 cycle spaces. The applicant has also submitted a travel plan, setting out the company's initiative to reduce reliance on private car travel. In justifying the car parking provision, the applicant has undertaken a study at other Care UK homes of a similar size and concluded that 26 spaces is sufficient, inclusive of shift change. This scheme will also allow the footpath outside the site to be increased to 3m in width, allowing for cyclists and pedestrians to access St. Ives by cycle.
- 7.17 This proposal must be balanced against the existing use, which creates a fallback position. If that use were recommenced with maximum motel occupancy and public use of the bar/restaurant, the existing car parking arrangement to the front of the building (20 spaces) would also be less than satisfactory. This proposal will deliver more car parking than currently exists on the site. Taking into consideration the fall back position, that residents will be unlikely to drive, that the site lies in a sustainable location and that the policy states a maximum provision, it is considered that a refusal of this proposal on highway matters would be unsustainable. The Highways officer has considered the fallback position and considers that the proposed use will not be materially more harmful to highway safety, than the existing use. If that use were to be recommenced, it would not require planning permission.
- 7.18 Residents of the Limes have expressed concerns regarding overflow parking within that development, particularly when there is a change in shift pattern. The government has advised that the planning system must operate in the public interest and must not seek to control matters that are governed by other legislation. As discussed the proposal could not be refused on car parking provision. If there is congestion on the public highway, as a result of this development, then it will be for the highways authority to enforce. However, parking concerns on private roads and within private car courts will be the responsibility of the land owner and therefore could not be controlled by planning legislation.

**Flooding matters:**

- 7.19 The site is within Environment Agency Flood Zone 3a and within a rapid inundation area as identified within the Huntingdonshire Strategic Flood Risk Assessment.

- 7.20 The National Planning Policy Framework states that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk, but where development is necessary, making it safe without increasing flood risk elsewhere.
- 7.21 A sequential approach is advocated and must be applied to the identification of suitable sites for development and infrastructure in flood risk areas and to the determination of planning applications. This is to steer new development to areas with the lowest probability of flooding.
- 7.22 The submitted Flood Risk Assessment details that the site immediately adjacent to the south of the application site has been granted permission for residential development within the same Flood Zone. The site has also been included within the Strategic Housing Land Availability Assessment and identified as being suitable, available and achievable for residential development.
- 7.23 The applicants have researched to identify other potential sites within the local area and have concluded that no other available or viable sites would meet their operational requirements. There are already several care homes within the district with an undersupply of care beds within the east of the district. The only other potential site identified within the 10 minute driving distance area to meet this supply was also within Flood Zone 3a. It is accepted that it is not possible for the development to be located in a zone with a lower probability of flooding.
- 7.24 In accordance with the NPPF the proposed use for residential care home falls within a vulnerability class of more vulnerable which is the same vulnerability as the previous motel use. Within Flood Zone 3a a more vulnerable use is required to pass the criteria of the Exception Test. For the Exception Test to be passed:
- a) it must be demonstrated that the development provides wider sustainability benefits to the community that outweigh flood risk
- 7.25 The proposed development provides landscaping and car parking provision. The care home will provide social and community benefits and will provide local employment opportunities. The Flood Risk Assessment also states that the use has the potential to free up other housing stock in the local area.
- b) a FRA must demonstrate that the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and, where possible, will reduce flood risk overall
- 7.26 The submitted Flood Risk Assessment concludes that the development is safe in terms of flood risk and will not increase the risk of flooding elsewhere. The Environment Agency considers that the proposed finished floor level is sufficient mitigation to allow for any breaching or overtopping events.
- 7.27 It is considered that the development is appropriately flood resilient and resistant, including safe access and escape routes. Having full



regard to the submitted information and proposed development the proposed development is compliant with both national and local policy in this regard.

**Sustainability matters:**

- 7.28 The applicant is proposing to use a combined heat and power plant to generate onsite energy. Details of sustainability measures will be conditioned to be agreed with the Local Planning Authority. It is also considered that the site is capable of using water efficiency methods, namely water butts, which can be used for the landscaped areas. This will also be conditioned.

**Archaeology:**

- 7.29 Records indicate that the site lies in an area of high archaeological potential. The terraces are known to support Neolithic and Bronze Age settlement and ceremonial sites, overlain by ladders of Roman enclosure systems, some of which may have been related to horticultural practises in the floodplain (Fenstanton sites). Evidence confirms this broad date range of human occupation. Therefore the site should be subject to a programme of archaeological investigation, which will be conditioned.

**Contamination :**

- 7.30 The applicant has taken a precautionary approach and included a land quality risk assessment for potential contamination. For the avoidance of doubt HDC Environmental Health have requested a condition to ensure works are carried out in accordance with that assessment.

**Conclusion:**

- 7.31 This proposal has been well designed and will not be significantly detrimental to the amenity of residents in the adjoining development, detrimental to the setting of the adjacent listed buildings or the character and appearance of the adjacent Conservation Area. The parking provision is not materially more harmful than the current arrangement serving the existing lawful use and this proposal has been designed to mitigate flooding.
- 7.32 As such the proposed development is considered to be compliant with the National Planning Policy Framework, East of England Plan (2008) policies SS1, ENV7 and ENG1, Huntingdonshire Local Plan (1995) policies En2, H43, En18, En20, En25, CS5 and CS9, Adopted Core Strategy (2009) policies CS1 and CS3, Development Management DPD Proposed Submission 2010 policies C1, E1, E2, E3, E4, E5, E10, H3, H4, H7 and C5.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

8. **RECOMMENDATION** - **APPROVE** subject to conditions to include the following:

<b>Nonstand</b>	time limit
<b>Nonstand</b>	materials
<b>Nonstand</b>	window detail
<b>Nonstand</b>	hard and soft landscaping
<b>Nonstand</b>	details of cycle storage
<b>Nonstand</b>	Details of sustainability measures
<b>Nonstand</b>	Details of water butts
<b>Nonstand</b>	archaeology
<b>Nonstand</b>	floor levels
<b>Nonstand</b>	Surface water drainage inc access
<b>Nonstand</b>	Highway crossover
<b>Nonstand</b>	parking layout etc
<b>Nonstand</b>	Temporary facilities during construction
<b>Nonstand</b>	Vis splays
<b>Nonstand</b>	Details of works to footway
<b>Nonstand</b>	Access minimum width
<b>Nonstand</b>	Tree protection pre start meeting
<b>Nonstand</b>	Protection of trees and hedges during works
	-grassed roof areas shall not be used by residents
	-Development to be carried out in accordance with contamination survey
	-Noise Assessment required to protect amenity of future occupiers.
	-Hours of construction.

**CONTACT OFFICER:**

Enquiries about this report to **Clara Kerr Development Management Officer**  
**01480 388434**

**To:** DevelopmentControl[/O=HUNTS DISTRICT  
COUNCIL/OU=HDC/CN=RECIPIENTS/CN=DEVELOPMENTCONTROL];  
**Subject:** Comments for Planning Application 1102099FUL  
**Sent:** Tue 2/14/2012 9:27:23 AM  
**From:** developmentcontrol@huntsdc.gov.uk

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 9:27 AM on 14 Feb 2012 from Mrs Lesley Caie.

### **Application Summary**

**Address:** St Ives Motel London Road St Ives PE27 5EX  
**Proposal:** Demolition of existing buildings and redevelopment of the site to provide 72 bedroom care home, together with associated landscaping and parking with access from London Road  
**Case Officer:** Clara Kerr  
[Click for further information](#)

### **Customer Details**

**Name:** Mrs Lesley Caie  
**Email:** parishclerk@hemingfordgrey.org.uk  
**Address:** Hilton Court Hilton Road, Fenstanton, Huntingdon, Cambridgeshire PE28 9PY

### **Comments Details**

**Commenter Type:** Town or Parish Council  
**Stance:** Customer made comments in support of the Planning Application  
**Reasons for comment:**  
**Comments:** HGPC recommends approval of this application subject to the following concerns being addressed: Flooding Sewerage issues Still not enough additional parking or cycle stands

**To:** Kerr, Clara (Planning Serv)[/O=HUNTS DISTRICT COUNCIL/OU=HDC/CN=RECIPIENTS/CN=CKERR];  
**Cc:** peterquest@ntlworld.com[peterquest@ntlworld.com];  
**Subject:** RE: 1102099FUL.doc  
**Sent:** Thur 3/8/2012 4:38:37 PM  
**From:** Hemingford Grey Parish Clerk

Hello Clara

I understand you have spoken with Peter Quest, our Planning Committee Chairman, regarding this issue.

After further consideration, the Hemingford Grey Parish Council does still wish to recommend approval of this application subject to the statutory authorities being satisfied in respect of the following concerns :

Flooding issues including at Limes Park;

Sewerage capacity issues;

Not enough additional parking or cycle stands.

We hope this alteration of wording helps to clarify HGPC's position, but please feel free to contact me if there are any further queries.

We do understand your point about the apparent confliction, but the PC wants to be assured that experts will be satisfied regarding these areas in which the PC has no real expertise.

Kind regards

Lesley

Lesley Caie

Clerk

Hemingford Grey Parish Council

**From:** Kerr, Clara (Planning Serv) [mailto:Clara.Kerr@huntingdonshire.gov.uk]  
**Sent:** 07 March 2012 09:21  
**To:** parishclerk@hemingfordgrey.org.uk  
**Subject:** FW: 1102099FUL.doc

Dear Hemingford Grey PC,

Please find attached the comments from Cambs County Highways. You will note that Mr. Hobbs does not object to the proposal and has recommended approval, subject to conditions.

The Parish will now see that with regard to flooding and highway matters, the statutory consultees have no objection in principle and recommend approval subject to conditions.

Can you please confirm that this has overcome the parish concerns and that the Parish continue to recommend approval of this proposal.

Many thanks and kind regards,

Clara.

Clara Kerr

Development Management Officer

Huntingdonshire District Council

Ph: 01480 388434

Fax: 01480 388472

Mail@ [clara.kerr@huntsdc.gov.uk](mailto:clara.kerr@huntsdc.gov.uk)

**Please note that the comments within this communication are made without prejudice to the determination of any application for this site.**

**Important note regarding the Community Infrastructure Levy (CIL).**

It is anticipated that Huntingdonshire District Council will adopt its Charging Schedule in April of this year. Once adopted, Huntingdonshire District Council will be obliged to collect the CIL Levy from liable parties from the date of adoption once development commences which received planning permission on or after the date of that adoption. It is important that the liable parties (usually either developers or landowners) are correctly identified as early as possible.

For more detailed information on CIL, the developments the charges will apply to, how much the charge will be and the process involved, the Community Infrastructure Levy pages on the Council's website [www.huntingdonshire.gov.uk](http://www.huntingdonshire.gov.uk) should be referred to. Development proposals which create less than 100 square metres of internal floorspace will be exempt from the Community Infrastructure Levy and will not be charged.

However development which creates one or more new dwellings will be charged the Community Infrastructure Levy irrespective of the floorspace created.

---

**From:** Hobbs Robin [<mailto:Robin.Hobbs@cambridgeshire.gov.uk>]

**Sent:** 05 March 2012 10:37

**To:** Kerr, Clara (Planning Serv)

**Cc:** DevelopmentControl

**Subject:** 1102099FUL.doc

**ST IVES TOWN COUNCIL PLANNING COMMITTEE : 25 JANUARY 2012  
APPLICATIONS FOR PERMISSION FOR DEVELOPMENT**

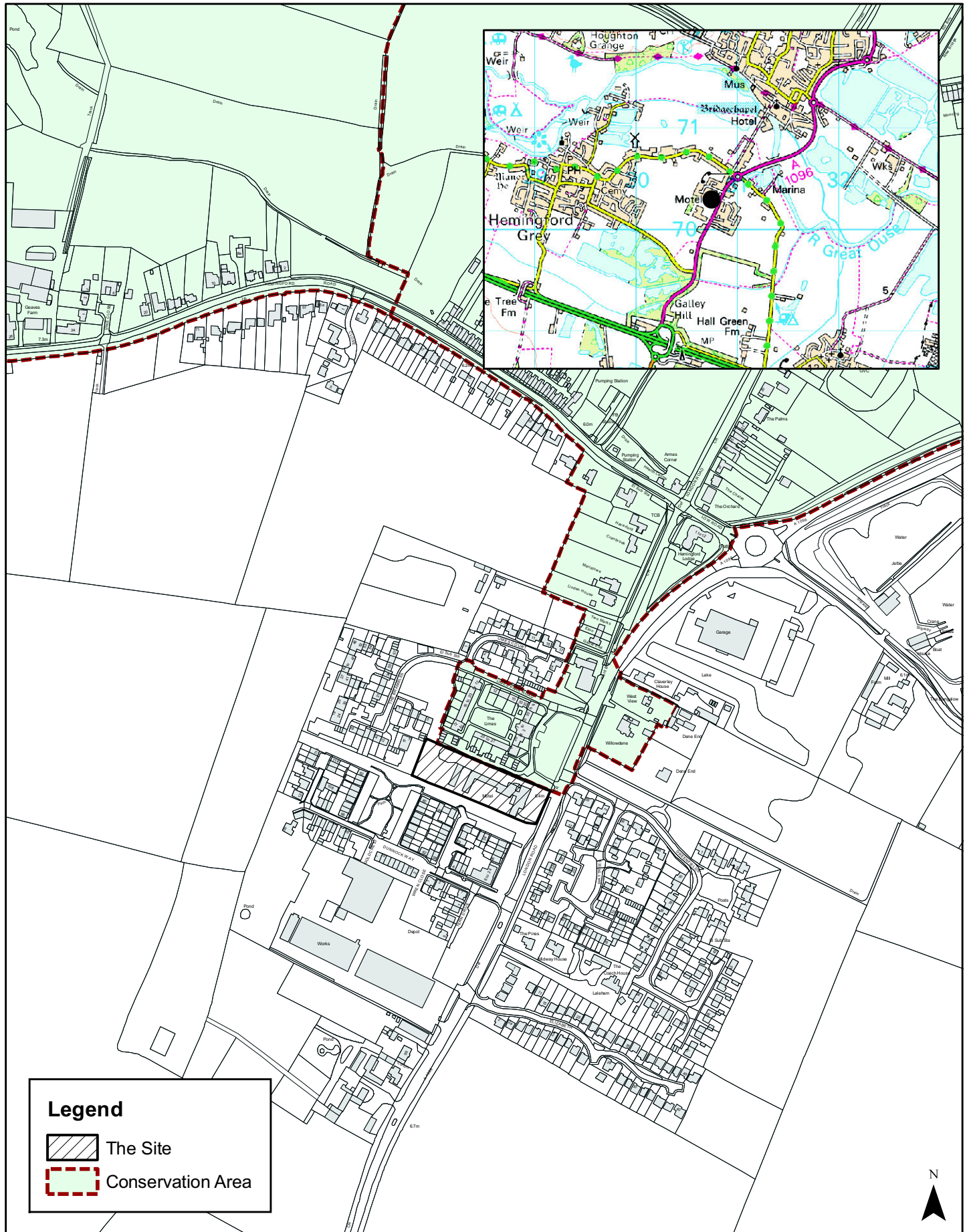
<b>App No and Date Reg</b>	<b>Name and Address of Applicant/Agent</b>	<b>Proposal and Location</b>	<b>Type of Application</b>	<b>Recommendation to District Council</b>
1102071 06.01.12	Weitech International Ltd Partners in Planning Ltd 10 Manor Mews Bridge Street St Ives Cambridgeshire PE27 5UW	Alterations to industrial building 10 Bramley Road St Ives PE27 3WS	FUL	<b>Recommend Approval:</b> <ul style="list-style-type: none"> <li>Considered appropriate development for industrial area</li> </ul>
1102086 09.01.12	Mr Ian Winters Raymond de Launey Ltd 1 Norman Court Hemingford Grey PE28 9BQ	Change of use A1 (retail) to A2 (financial and professional services) or A1 (retail) 14 Market Hill St Ives PE27 5AL	FUL	<b>Recommend Approval:</b> <ul style="list-style-type: none"> <li>The Committee support a change of use that would bring the unit back into use</li> </ul>
1102099 12.01.12	Care UK Community Partnerships AKA Planning Thorncroft Manor Thorncroft Drive Leatherhead Surrey KT22 8JB	Demolition of existing buildings and redevelopment of the site to provide 72 bedroom care home, together with associated landscaping and parking with access from London Road St Ives Motel London Road St Ives PE27 5EX	FUL	<b>Recommend Approval:</b> <ul style="list-style-type: none"> <li>Provision of additional care facilities were welcomed and the general arrangements were approved however</li> <li>Parking was a concern in particular at shift change and for visitors</li> <li>Concern was expressed regarding past problems with drains in the area and would want to see water authority approval</li> </ul>
1102133 16.01.12	Mr R Sweet and Miss E Mason Mr C Campbell Nutwood Ventures Ltd PO Box 580 Huntingdon PE29 9EB	Erection of detached dwelling with garaging and parking Land at and including 4 Lilac Way St Ives	FUL	<b>Recommend Refusal:</b> <ul style="list-style-type: none"> <li>that the proposed design is too big for the site</li> <li>it was accepted that there was potential to put an appropriately sized property on the site</li> </ul>

# Development Management Panel

Application Ref: 1102099FUL

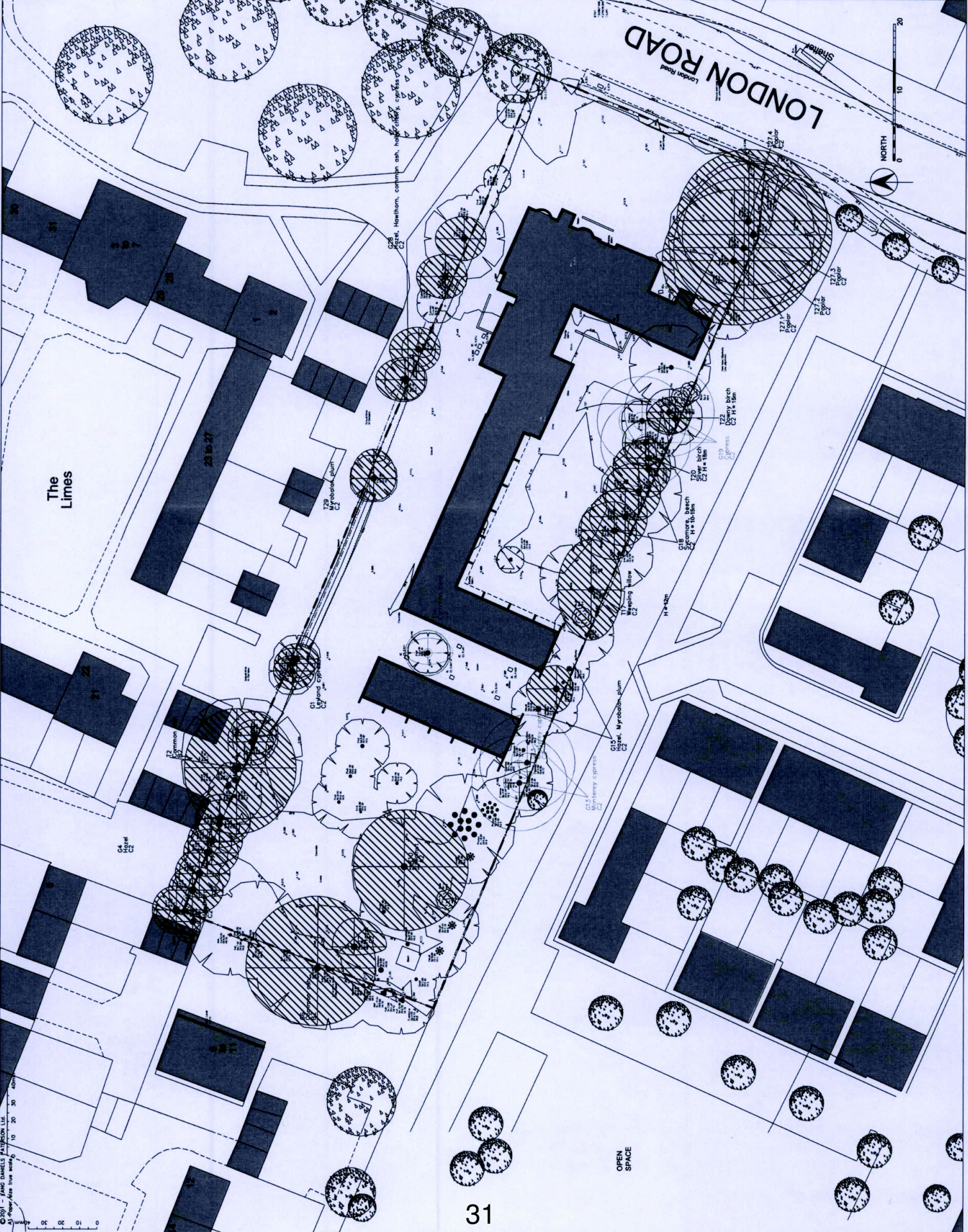
Location: Hemingford Grey

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Scale: 1:5000

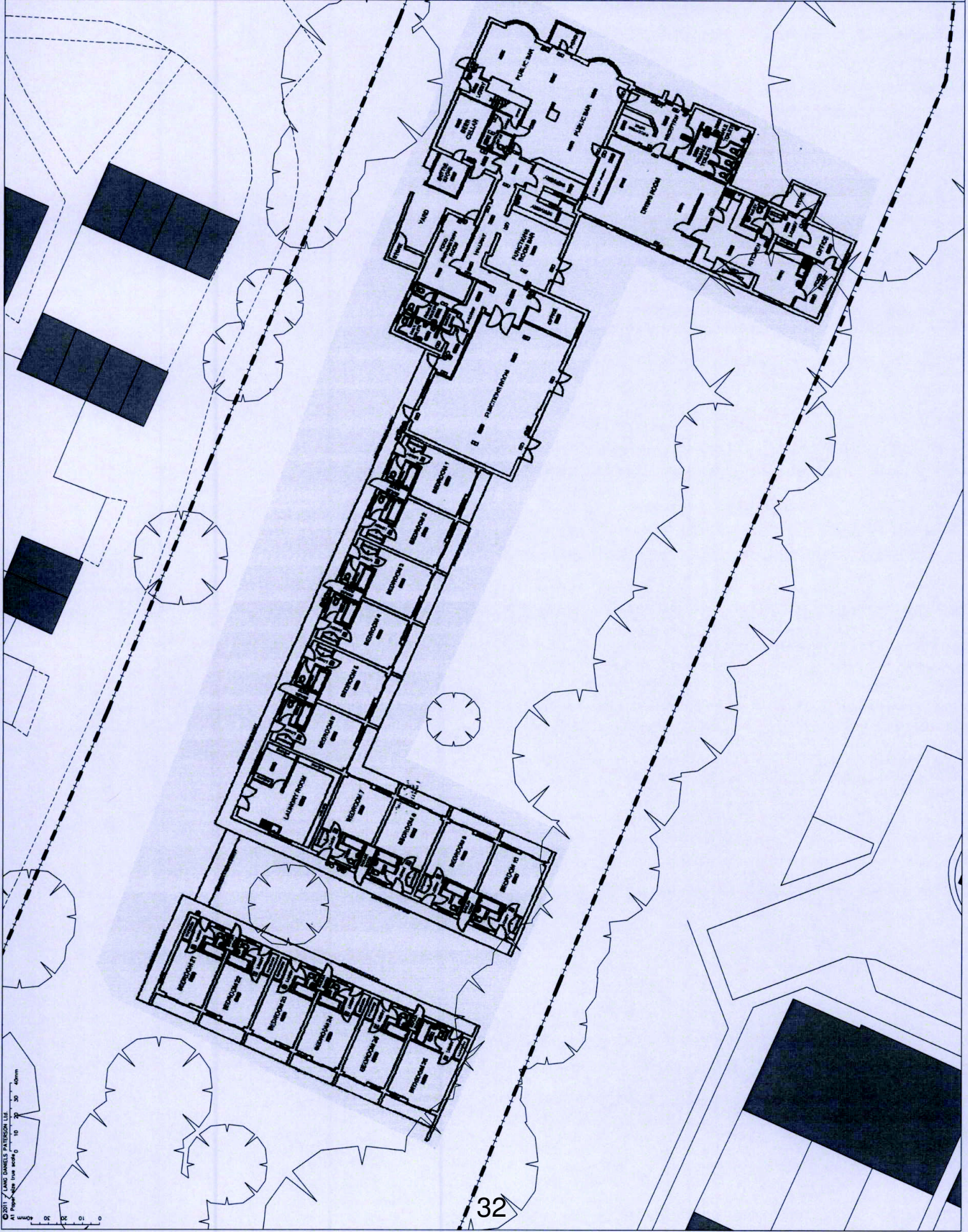






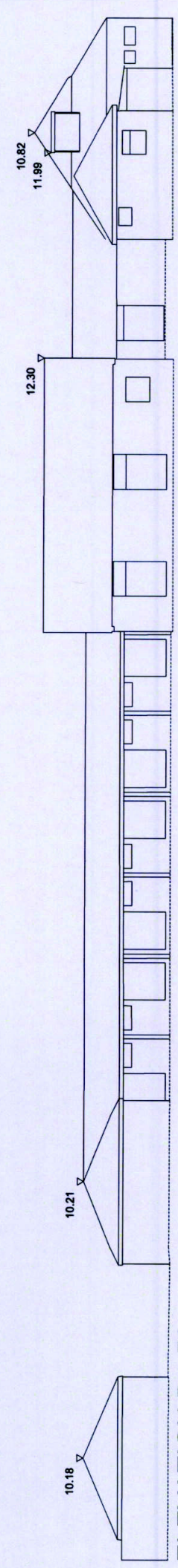
**DANIELS PATERSON**  
 ARCHITECTS  
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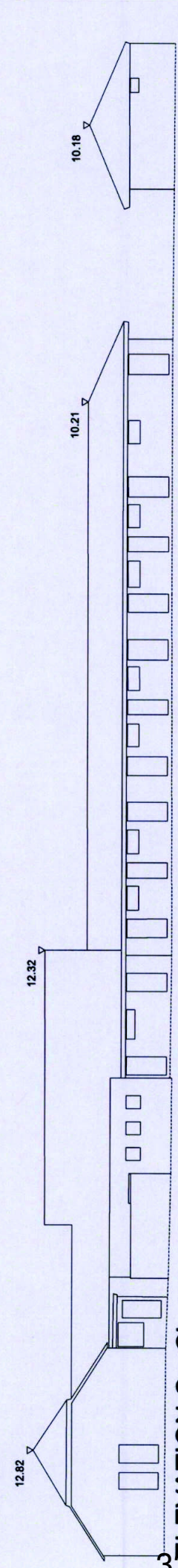


© 2017 LIND DANIELS PATERSON LTD  
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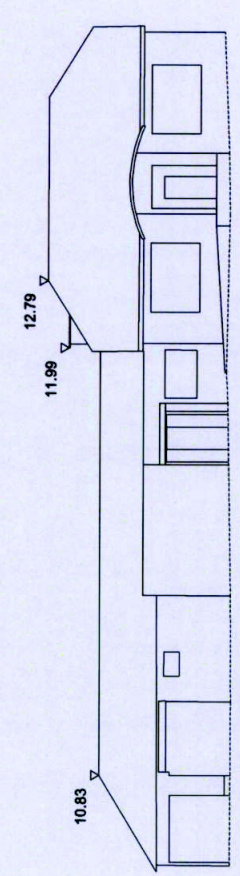




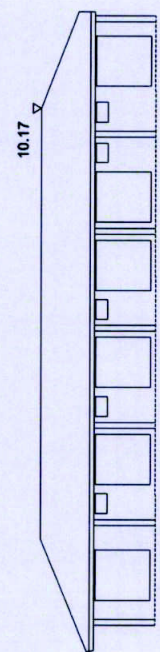
ELEVATION D - D'



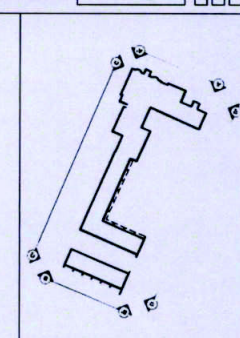
ELEVATION C - C'



ELEVATION A - A'



ELEVATION B - B'



0	RLM	VSD	08/11	
	Drawn by	Checked by	Date	Comments

**SLR**  
 ARCHITECTS  
 150 FLEET STREET  
 LONDON EC4A 3DF  
 TEL: 020 7490 6600  
 FAX: 020 7490 6601  
 www.slr.co.uk

PROJECT:  
 FORMER HOTEL  
 ELEVATIONS

DATE:  
 08/08/2011

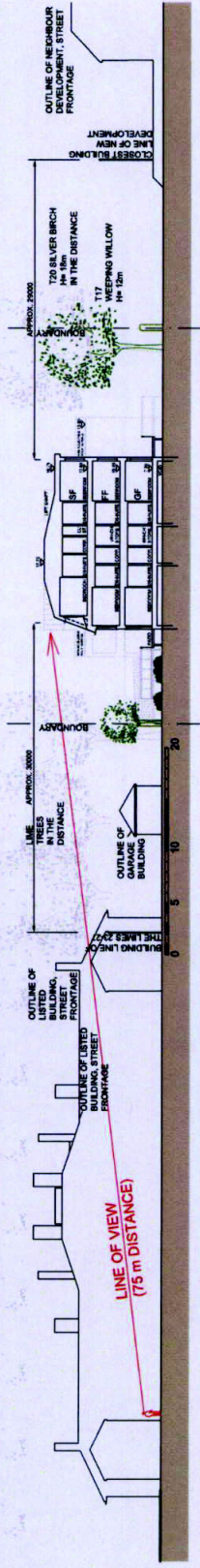
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**LDP:**  
 LANG DANIELS PATTERSON ARCHITECTS  
 1018PP0022

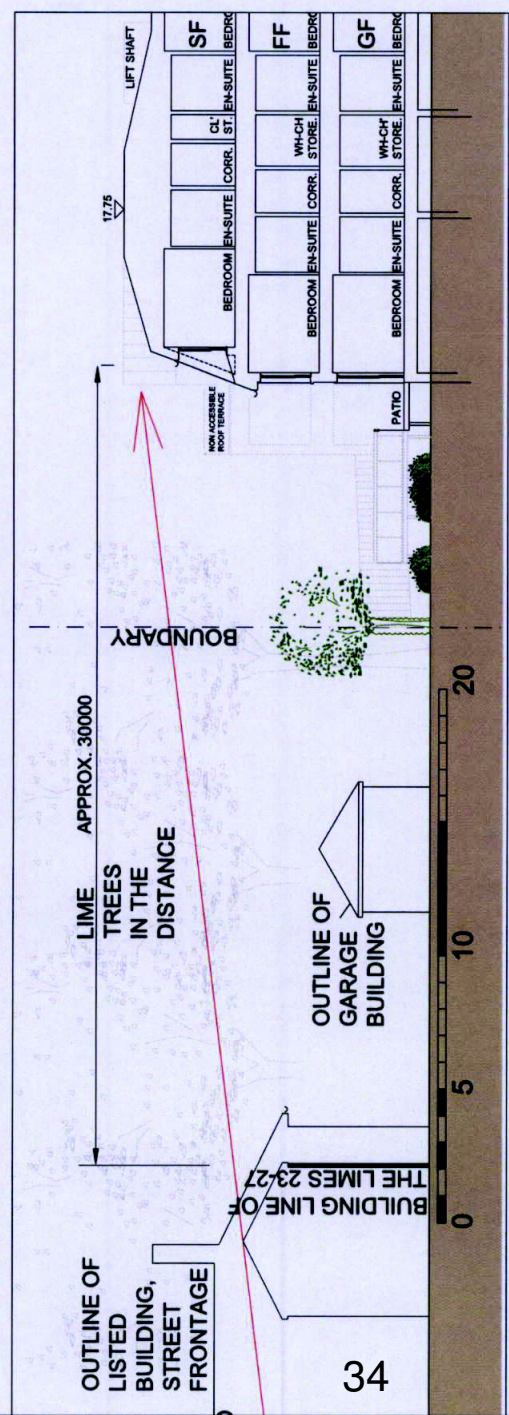
PROJECT:  
 PROPOSED CARE HOME FOR CARE UK  
 ST. NEVS, LONDON ROAD  
 TITLE:  
 EXISTING ELEVATIONS

SCALE: 1/500  
 DATE: 08/11  
 FILE: 1018PP0022





CROSS SECTION 1:250



CROSS SECTION, LEFT 1:100



CROSS SECTION, RIGHT 1:100



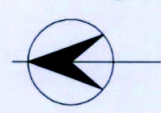
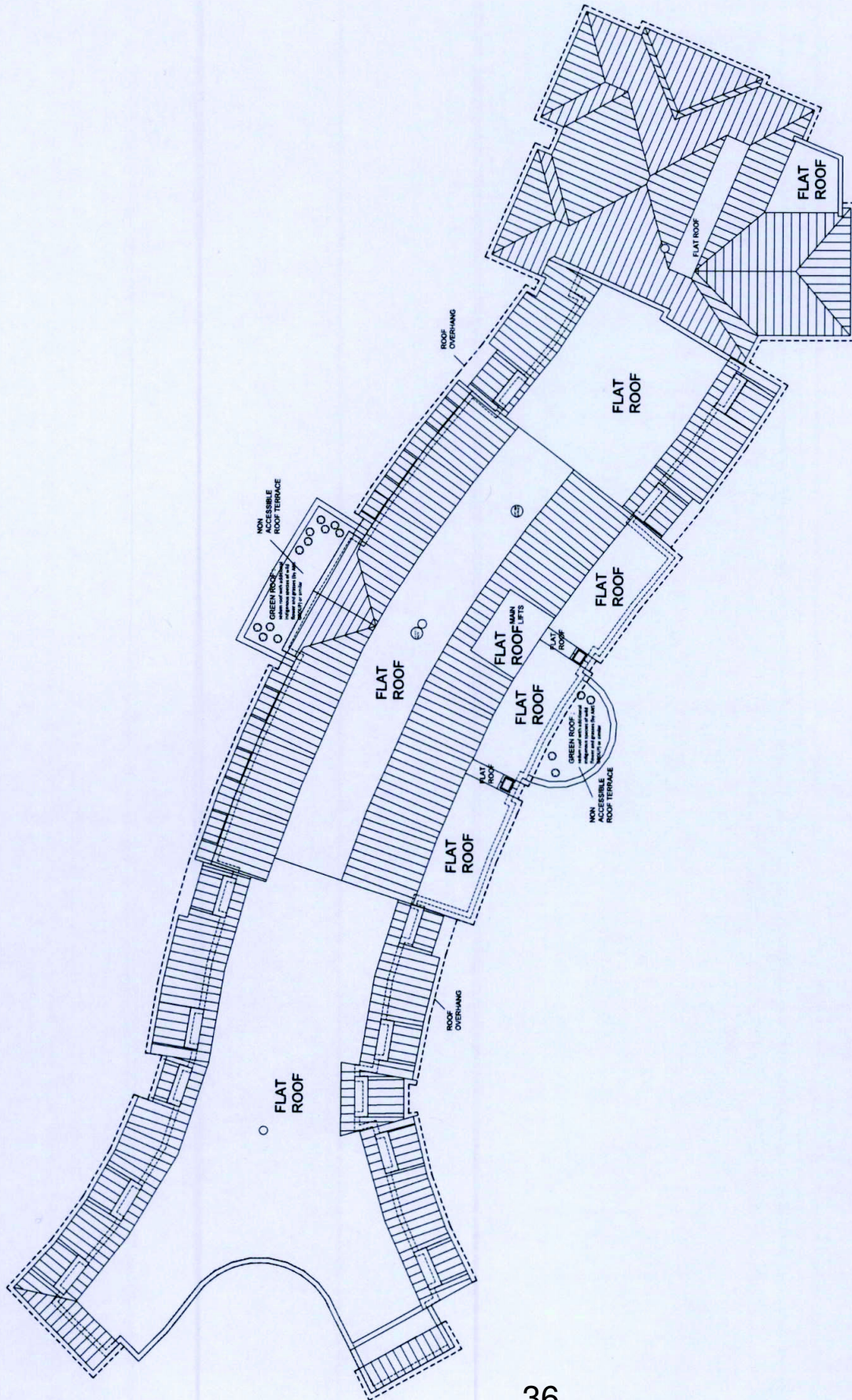
PLAN 1:1000

DRAWING STATUS		<b>LDP</b> LANE DANIELS PATTERSON ARCHITECTS 25 BATHURST SQUARE LONDON W1A 1AA TEL: 020 7477 2318 FAX: 020 7477 2319 WWW.LDP.CO.UK	PROPOSED CARE HOME FOR CARE UK ST. IVES, LONDON ROAD CROSS SECTION
PLANNING APPLICATION			
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1:1000	10/18/PP014	1	1

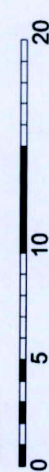








NORTH



DRAWING STATUS  
 PLANNING APPLICATION

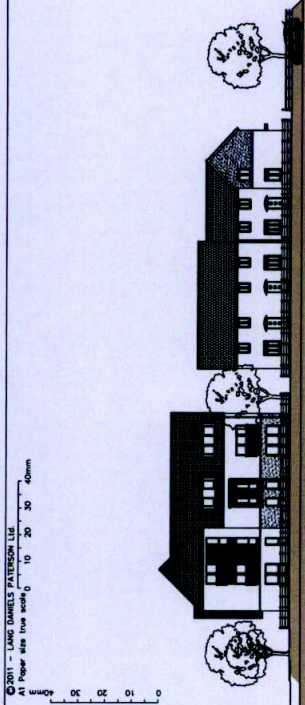
NO.	DATE	DESCRIPTION

**LDP:**  
 LANG DANIELS PATTERSON  
 ARCHITECTS  
 100 WILKINS STREET  
 LONDON E14 3JF  
 TEL: 020 7463 4000  
 FAX: 020 7463 4001  
 www.ldp.com

PROPOSED CARE HOME FOR CARE UK  
 ST. MARYS LONDON ROAD  
 TITLE  
 ROOF PLAN

SCALE (GRAPHIC)	1:100
SCALE (TEXT)	1:100
DATE	10/18/PP/008
FILE	





NEW RESIDENTIAL DEVELOPMENT  
 UNDER CONSTRUCTION

EAST ELEVATION

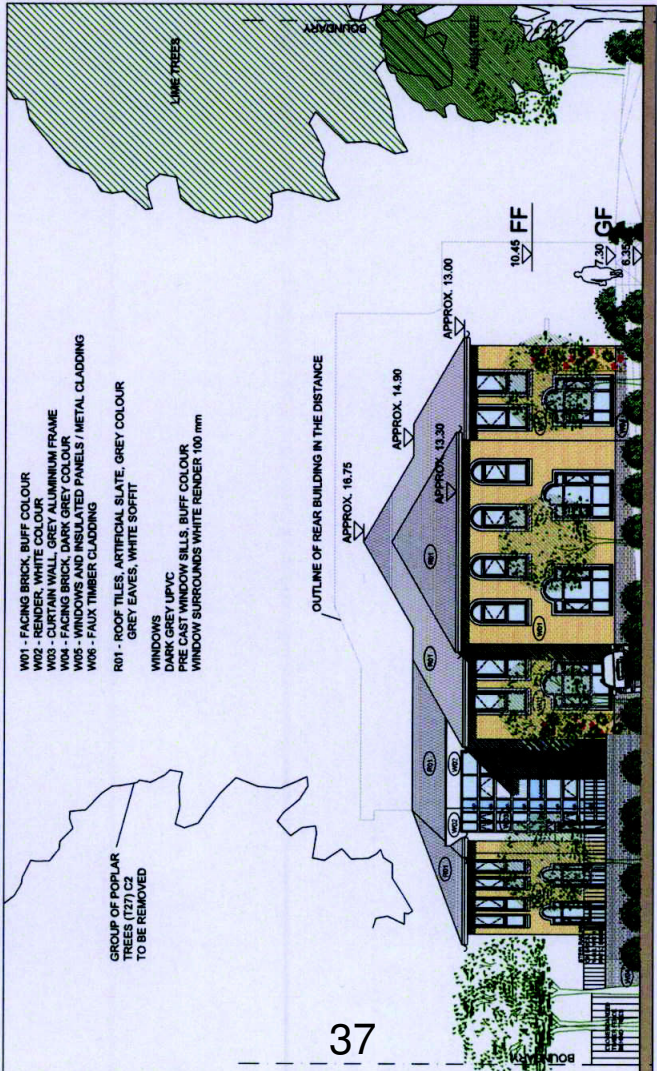
LISTED BUILDING /  
 CONSERVATION AREA



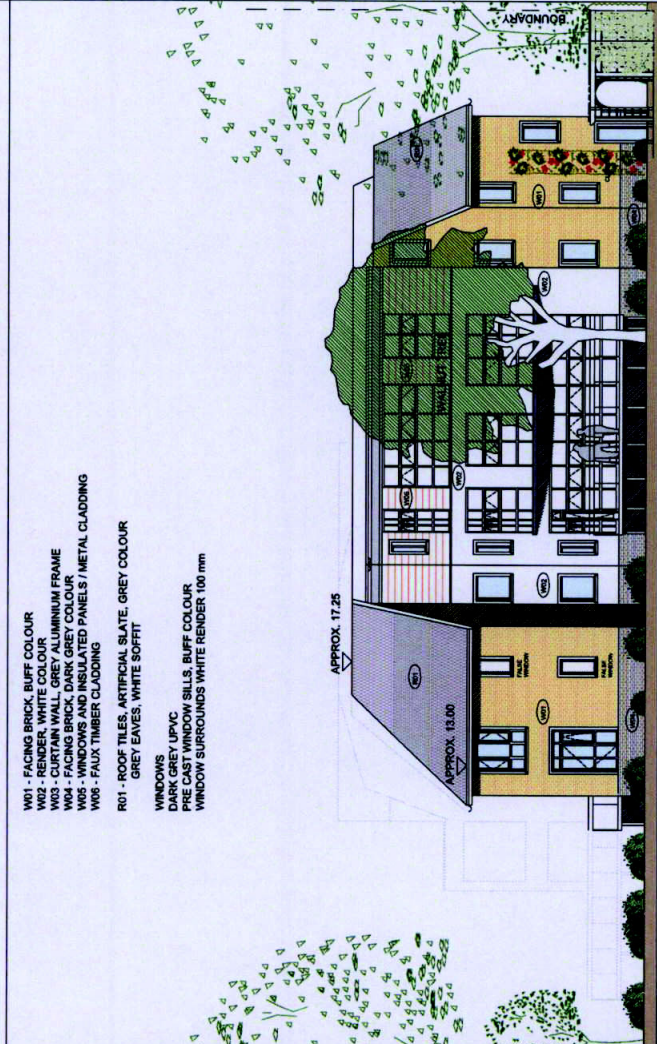
EAST ELEVATION, 1:125

- W01 - FACING BRICK, BUFF COLOUR
  - W02 - RENDER, WHITE COLOUR
  - W03 - CURTAIN WALL, GREY ALUMINIUM FRAME
  - W04 - FACING BRICK, DARK GREY COLOUR
  - W05 - WINDOWS AND INSULATED PANELS / METAL CLADDING
  - W06 - FAUX TIMBER CLADDING
  - R01 - ROOF TILES, ARTIFICIAL SLATE, GREY COLOUR
  - GREY EAVES, WHITE SOFFIT
- WINDOWS  
 DARK GREY UPVC  
 PRE CAST WINDOW SILLS, BUFF COLOUR  
 WINDOW SURROUNDS WHITE RENDER 100 mm

GROUP OF POPLAR  
 TREES (T27) C2  
 TO BE REMOVED



- W01 - FACING BRICK, BUFF COLOUR
  - W02 - RENDER, WHITE COLOUR
  - W03 - CURTAIN WALL, GREY ALUMINIUM FRAME
  - W04 - FACING BRICK, DARK GREY COLOUR
  - W05 - WINDOWS AND INSULATED PANELS / METAL CLADDING
  - W06 - FAUX TIMBER CLADDING
  - R01 - ROOF TILES, ARTIFICIAL SLATE, GREY COLOUR
  - GREY EAVES, WHITE SOFFIT
- WINDOWS  
 DARK GREY UPVC  
 PRE CAST WINDOW SILLS, BUFF COLOUR  
 WINDOW SURROUNDS WHITE RENDER 100 mm



EAST ELEVATION 1:100

WEST ELEVATION 1:100



WEST ELEVATION 1:250

DRAWING STATUS  
 PLANNING APPLICATION

SCALE: 1:1000  
 DATE: 08/11/11  
 DRAWN: [Signature]

**LDP**  
 LANG DANIELS PATERSON ARCHITECTS  
 MILLERS STUDIOS  
 L A N G  
 DANIELS  
 PATERSON  
 ARCHITECTS  
 1001-1002  
 ST. IVES, LONDON ROAD  
 LONDON SW19 3SE  
 TEL: 020 8842 1718  
 FAX: 020 8842 1719  
 email: info@londonltd.com

PROPOSED CARE HOME FOR CARE UK  
 11/11/11  
 ELEVATIONS EAST AND WEST

1018PP0011  
 TITLE





**NORTH ELEVATION**

**NORTH ELEVATION 1:250**

EXISTING RESIDENTIAL DEVELOPMENT



- W01 - FACING BRICK, BUFF COLOUR
- W02 - RENDER, WHITE COLOUR
- W03 - WINDOW FRAME
- W04 - FACING BRICK, DARK GREY COLOUR
- W05 - WINDOWS AND INSULATED PANELS / METAL CLADDING
- W08 - FAUX TIMBER CLADDING
- R01 - ROOF TILES, ARTIFICIAL SLATE, GREY COLOUR  
GREY EAVES, WHITE SOFFIT
- WINDOWS  
DARK GREY UPVC  
PRE CAST WINDOW SILLS, BUFF COLOUR  
WINDOW SURROUNDS WHITE RENDER 100 mm
- ENTRANCE DOOR  
DARK GREY / ALUMINIUM

GROUP OF POPULAR TREES (T27) C2 TO BE REMOVED

LONDON ROAD

**NORTH ELEVATION, LEFT 1:100**



**NORTH ELEVATION, RIGHT 1:100**

DRAWING STATUS	
PLANNING APPLICATION	
DATE	SCALE
11/11	1:100

**LDP:**  
 LIND DANIELS PATTERSON ARCHITECTS  
 NATIONAL SERVICES  
 25, WATFORD ROAD  
 WATFORD, HERTS AL9 1DA  
 TEL: 01838 877 000  
 FAX: 01838 8463 1118  
 info@linddaniels.com

PROPOSED CARE HOME FOR CARE UK  
 ST IVES, LONDON ROAD  
 ELEVATION NORTH

SCALE	DATE	BY	NO.
1:100	11/11	LD	1018/PP012
DATE	BY	NO.	11/11



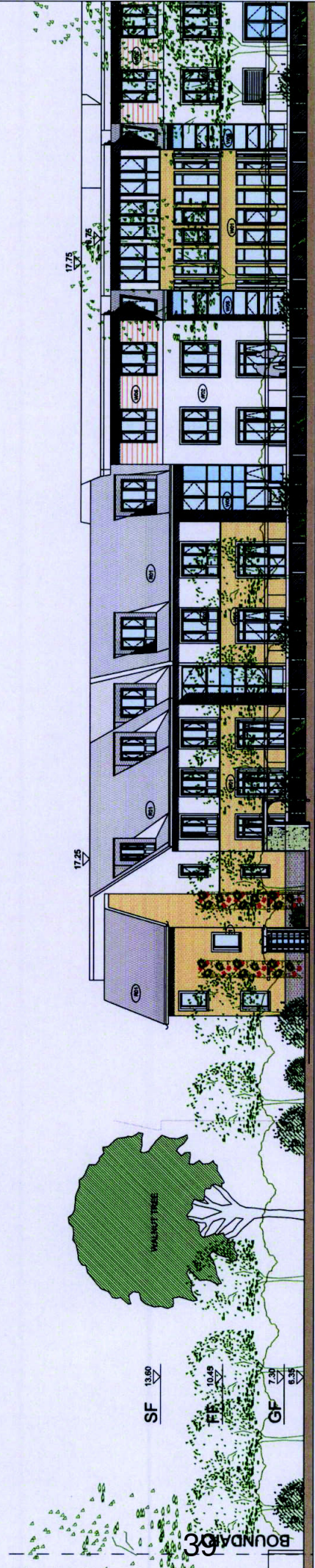


**SOUTH ELEVATION**

EXISTING RESIDENTIAL DEVELOPMENT

EXISTING RESIDENTIAL DEVELOPMENT

**SOUTH ELEVATION 1:250**



**SOUTH ELEVATION, LEFT 1:100**



**SOUTH ELEVATION, RIGHT 1:100**

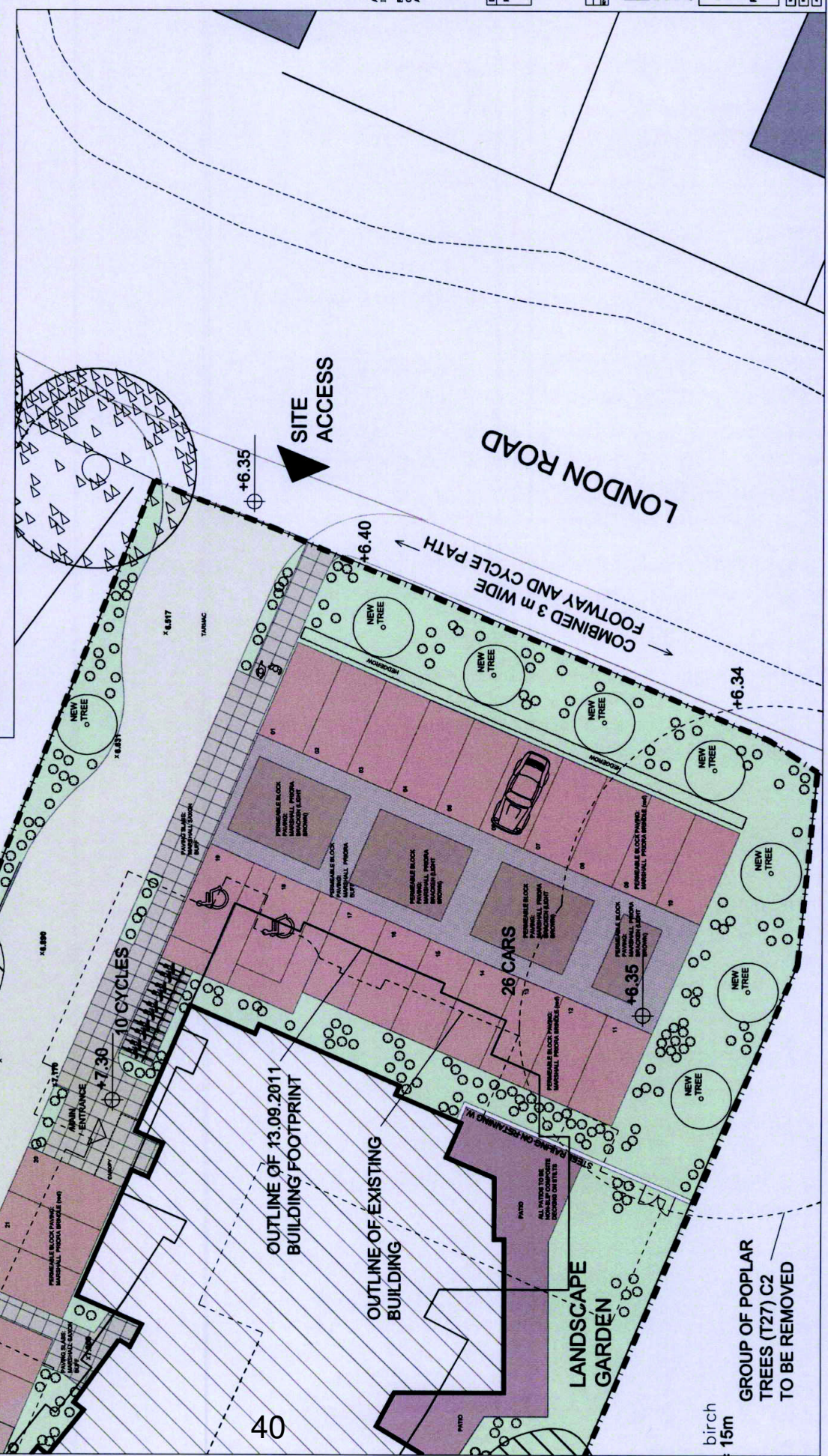
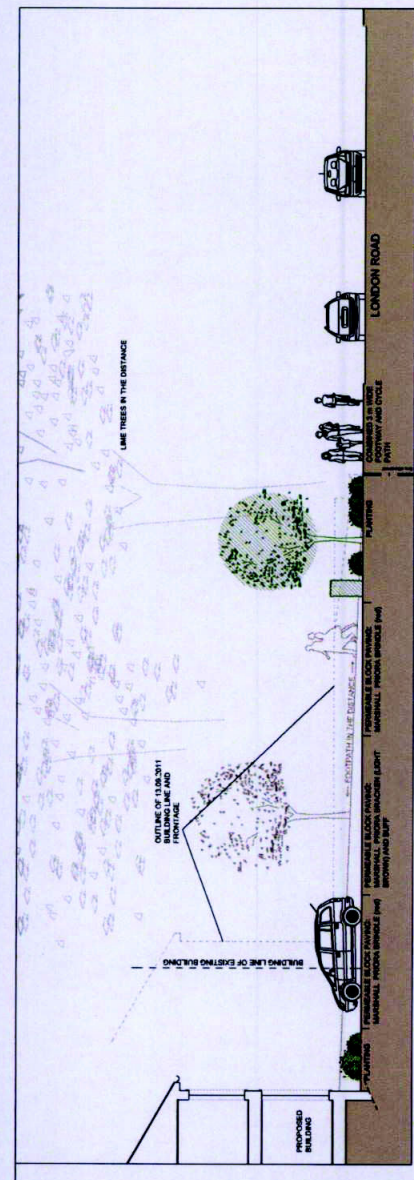
- W01 - FACING BRICK, BUFF COLOUR
- W02 - CURTAIN, WHITE COLOUR
- W03 - CURTAIN, ALUMINIUM FRAME
- W04 - FACING BRICK, DARK GREY COLOUR
- W05 - WINDOWS AND INSULATED PANELS / METAL CLADDING
- W06 - FAUX TIMBER CLADDING
- R01 - ROOF TILES, ARTIFICIAL SLATE, GREY COLOUR  
GREY EAVES, WHITE SOFFIT
- WINDOWS  
DARK GREY UPVC  
PRE CAST WINDOW SILLS, BUFF COLOUR  
WINDOW SURROUNDS WHITE RENDER 100 mm

GROUP OF POPLAR TREES (T27) C2 TO BE REMOVED

DRAWING STATUS	PLANNING APPLICATION
<b>LDP:</b> LARK DANIELS PATERSON ARCHITECTS 111-113 ST. IVES, LONDON ROAD LONDON, W11 1LH TEL: 020 872 0284 FAX: 020 862 1118 info@larp.co.uk	
PROPOSED CARE HOME FOR CARE UK ST. IVES, LONDON ROAD LONDON, W11 1LH ELEVATION SOUTH	
SCALE: ARCHITECT	SCALE: CIVIL
DATE: 08/11/11	1018PP013
REVISED	FILED



G28  
Hazel, Hawthorn, common  
C2



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A Planning Application for a New Development

40

DRAWING STATUS  
PLANNING APPLICATION

**LDP**  
LANDSCAPE DESIGN PRACTISE  
L A N C S H I E L D S  
ARCHITECTS  
PATERSON  
ARCHITECTS

PROPOSED CARE HOME FOR CARE UK  
ST. IVES, LONDON ROAD  
1:116  
PROPOSED SITE FRONTAGE

SCALE: 1:500  
DATE: 02.09.2010  
DRAWN BY: [NAME]  
CHECKED BY: [NAME]

ALL LANDSCAPE DETAILS SHOWN ARE  
ILLUSTRATIVE ONLY.  
EXTERNAL SURFACE MATERIALS ARE  
GENERALLY PROPOSAL AND SUBJECT TO LOCAL  
AUTHORITY APPROVAL.

GROUP OF POPLAR  
TREES (T27) C2  
TO BE REMOVED  
birch  
15m

OUTLINE OF 13.09.2011  
BUILDING FOOTPRINT

OUTLINE OF EXISTING  
BUILDING

26 CARS

LANDSCAPE  
GARDEN





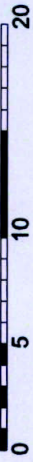
DRAWING STATUS  
PLANNING APPLICATION

NO.	DATE	DESCRIPTION
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2	10/10/2018	ISSUED FOR PERMIT
3	10/10/2018	ISSUED FOR PERMIT
4	10/10/2018	ISSUED FOR PERMIT

**LDP**  
 LINDA PATTERSON  
 ARCHITECTS  
 10 SILVERTOWN RD  
 SILVERTOWN  
 LONDON E16 2AE  
 TEL: 0202 8472 828  
 FAX: 0202 8472 118  
 www.linda-patterson-architects.co.uk

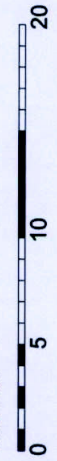
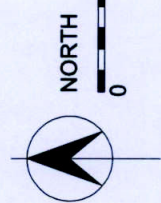
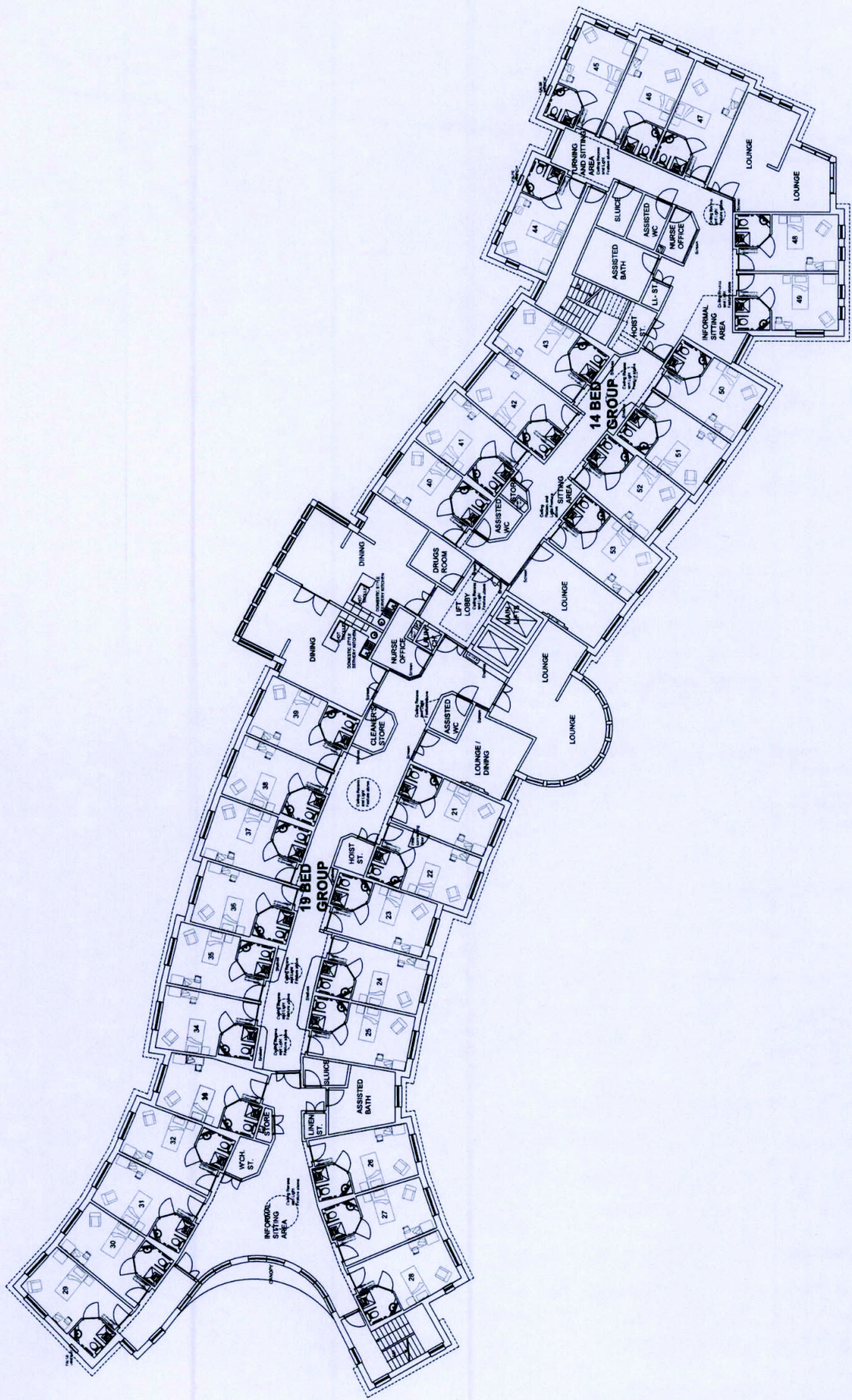
PROPOSED CARE HOME FOR CARE UK  
 ST. IVES, LONDON ROAD  
 1:11.6  
 GROUND FLOOR PLAN  
 10/18/PP/005

NORTH



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DRAWING STATUS  
 PLANNING APPLICATION

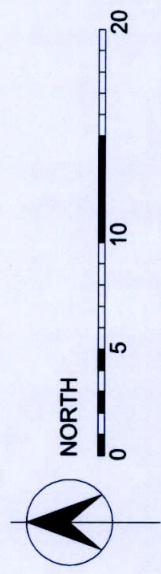
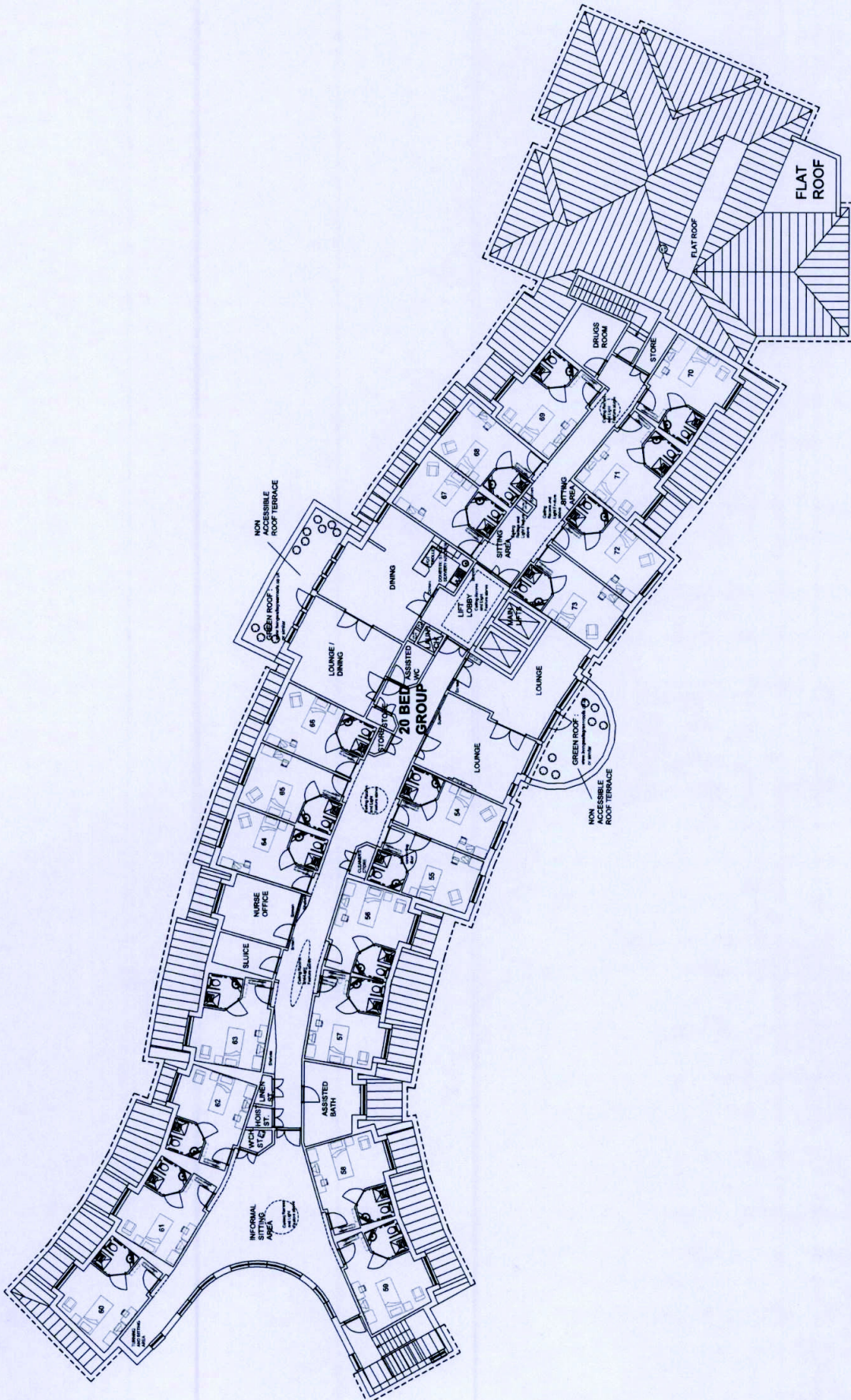
NO.	DATE	REVISION

**LDP**  
 LANG DANIELS PATERSON ARCHITECTS  
 20 BATTERSEA STATION  
 20 BATTERSEA ROAD  
 LONDON N1 6SE  
 TEL: (020) 8727 8238  
 FAX: (020) 8727 8239  
 www.langdaniels.com

PROPOSED CARE HOME FOR CARE UK  
 11-13  
 ST. NEEL, LONDON ROAD  
 FIRST FLOOR PLAN

SCALE (THIS DRAWING)	DATE (ISSUED)	REVISION
1:100	01/08/2011	01/08/2011





DRAWING STATUS  
 PLANNING APPLICATION

NO.	DATE	DESCRIPTION
1	10/11/10	ISSUED FOR PERMIT
2	10/11/10	ISSUED FOR PERMIT

**LDP:**  
 LANG DANIELS PATTERSON  
 ARCHITECTS  
 100 BROADWAY  
 LONDON E14 4BE  
 TEL: 020 7463 4000  
 FAX: 020 7463 4001  
 www.langdaniels.com

PROJECT  
 PROPOSED CARE HOME FOR CARE UK  
 ST. IVES, LONDON ROAD

TITLE  
 SECOND FLOOR PLAN

SCALE: 1:500	DATE: 10/11/10	FILE: 1018PP007
DATE: 10/11/10	FILE: 1018PP007	FILE: 1018PP007

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**Case No:** 1200356FUL (FULL PLANNING APPLICATION)

**Proposal:** RETROSPECTIVE APPROVAL FOR SITING OF GREENHOUSE, CONTAINER AND SMALL TOURING CARAVAN

**Location:** TWO HOOTS FARM SAWTRY WAY WYTON

**Applicant:** MR AND MRS WRIGHT

**Grid Ref:** 528834 272897

**Date of Registration:** 29.02.2012

**Parish:** HOUGHTON AND WYTON

---

## **RECOMMENDATION - APPROVE**

### **1. DESCRIPTION OF SITE AND APPLICATION**

- 1.1 The site is bounded by hedgerow to the highway and the public right of way to the south east of the site. Beyond the public footpath to the south east lies buildings and arenas, associated with New Manor Farm equestrian centre. The land slopes away to the south and south west. Access to the site is gated from Sawtry Way.
- 1.2 The arena and stable building on site already benefit from planning permission.
- 1.3 This application is retrospective to retain the existing greenhouse and container. The proposal also seeks the siting of a small touring caravan to be placed on site. The existing mobile home is to be removed and does not have the benefit of planning permission.

### **2. NATIONAL GUIDANCE**

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.



### 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **En17:** "Development in the Countryside" - development in the countryside is restricted to that which is essential to the effective operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

- None relevant

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** "Sustainable development in Huntingdonshire" – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development. Including reducing



water consumption and wastage, minimising impact on water resources and water quality and managing flood risk.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **P7:** “Development in the Countryside” – development in the countryside is restricted to those listed within the given criteria.
  - a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;
  - b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;
  - c. renewable energy generation schemes;
  - d. conservation or enhancement of specific features or sites of heritage or biodiversity value;
  - e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;
  - f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;
  - g. sites allocated for particular purposes in other Development Plan Documents.

3.7 Huntingdonshire Landscape and Townscape Assessment (2007)

#### **4. PLANNING HISTORY**

4.1 The use of the site for livery purposes was granted planning permission in December 2008. Subsequently applications for related buildings and facilities have been submitted.

4.2 The most recent planning application for the site relates to the erection of pitched roof addition onto existing flat roof stables, to be used as storage which was refused permission and dismissed at appeal (1100334FUL).

4.3 An application for the retention of the greenhouse, container and static caravan was previously withdrawn.

#### **5. CONSULTATIONS**

5.1 **Houghton and Wyton Parish Council – recommend refusal (SEE ATTACHED)**

5.2 CCC Rights of Way Team – comments awaited

#### **6. REPRESENTATIONS**

6.1 None yet received.

## **7. SUMMARY OF ISSUES**

- 7.1 The main issues to consider in respect of this application are the need for the structures and buildings and the impacts on the open countryside.

### **Need for the Proposed Buildings**

- 7.2 The agent has confirmed by email received 27th March 2012, that the caravan is required to provide day care facilities for the applicant's child whilst the family are using the livery.
- 7.3 As this relates to the applicant's young child, it would seem reasonable to impose a condition requiring the removal of the caravan when no longer required for this function.
- 7.4 The agent has confirmed that the applicant seeks a permanent permission for the container on site in order to provide storage in connection with the livery (including a large machine for cutting grass). The greenhouse is proposed to complement the small vegetable patch which provides food for the horses. Both of these requirements are considered to be reasonable in relation to the livery use of the site.

### **Impacts on the Open Countryside**

- 7.5 The greenhouse is located within an area used for growing vegetables and thus forms a logical extension to that use. The structure is light, relatively low and it is not considered to create harm such that it would undermine the character of the area.
- 7.6 The storage container is located to the north of the approved stable block. It is slightly lower in height than the stables which helps to screen the structure. However it is visible from Sawtry Way above the hedgerow. It is recognised that this structure does not represent high quality design given its functional appearance. However, it is considered having regard to the siting of the container and its colour (green) that its retention in this location would not have a significant adverse impact on the character and appearance of the surrounding countryside, in this instance.
- 7.7 The proposed touring caravan is considered to have a lesser impact than the static caravan which is situated on site without the benefit of planning permission and measures approximately 11.8 metres in length by 3.6 metres in depth and 2.5 metres in height. The touring caravan would also seem to provide a more reasonable scale of facilities (to reflect the need suggested by the applicant) in association with the livery use on site. The agent has confirmed that the applicant intends to site a touring caravan 4 metres in length on the site, exact details of the touring caravan have not been specified. Whilst these details are not considered to be specifically required, it is recommended that the size of the touring caravan on site is controlled via the imposition of a condition.
- 7.8 It is considered that the proposed siting of a touring caravan of the size and location proposed would not, in this instance, have an adverse effect on the character and appearance of the surrounding area and would not form a permanent addition in the landscape.

## Conclusion

- 7.9 The proposed permanent retention of the greenhouse and storage container on site is in this instance acceptable and is not considered to have an adverse effect on the character and appearance of the surrounding area.
- 7.10 The siting of a touring caravan to provide day care facilities for the applicant's young child is in this instance considered acceptable in order to provide a specific facility for a temporary period. The temporary siting of the caravan is not considered to have an adverse effect on the character and appearance of the surrounding area
- 7.11 In approving the application, the relevant guidance and policies were identified as The National Planning Policy Framework (2012), policy ENV7 of the East of England Plan, policies En17 and En25 of the Local Plan, policy CS1 of the Adopted Core Strategy, policies E1 and P7 of the Development Management DPD Submission, the Landscape and Townscape Assessment.

8. **RECOMMENDATION** - **APPROVE** subject to conditions to include the following:

**02003** Time Limit

**Nonstand** The touring caravan hereby permitted shall be removed from the site and the site shall be restored to its former condition within 5 years from the date of this decision, or when no longer required to provide day care facilities for the applicants' child(ren), whichever is the sooner.

**Nonstand** The touring caravan shall not exceed 4 metres in length.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

### **CONTACT OFFICER:**

Enquiries about this report to **Michelle Nash Development Management Officer 01480 388405**

**To:** DevelopmentControl[/O=HUNTS DISTRICT  
COUNCIL/OU=HDC/CN=RECIPIENTS/CN=DEVELOPMENTCONTROL];  
**Subject:** Comments for Planning Application 1200356FUL  
**Sent:** Thur 3/22/2012 2:11:03 PM  
**From:** developmentcontrol@huntsdc.gov.uk

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 2:11 PM on 22 Mar 2012 from Miss Lois Dale.

### **Application Summary**

**Address:** Two Hoots Farm Sawtry Way Wyton Huntingdon PE28 2DY  
**Proposal:** Retrospective approval for siting of greenhouse, container and small touring caravan  
**Case Officer:** Michelle Nash  
[Click for further information](#)

### **Customer Details**

**Name:** Miss Lois Dale  
**Email:** clerk@houghtonwytonpc.org.uk  
**Address:** 46 St Margarets Road, Wyton, Cambridgeshire PE28 2AN

### **Comments Details**

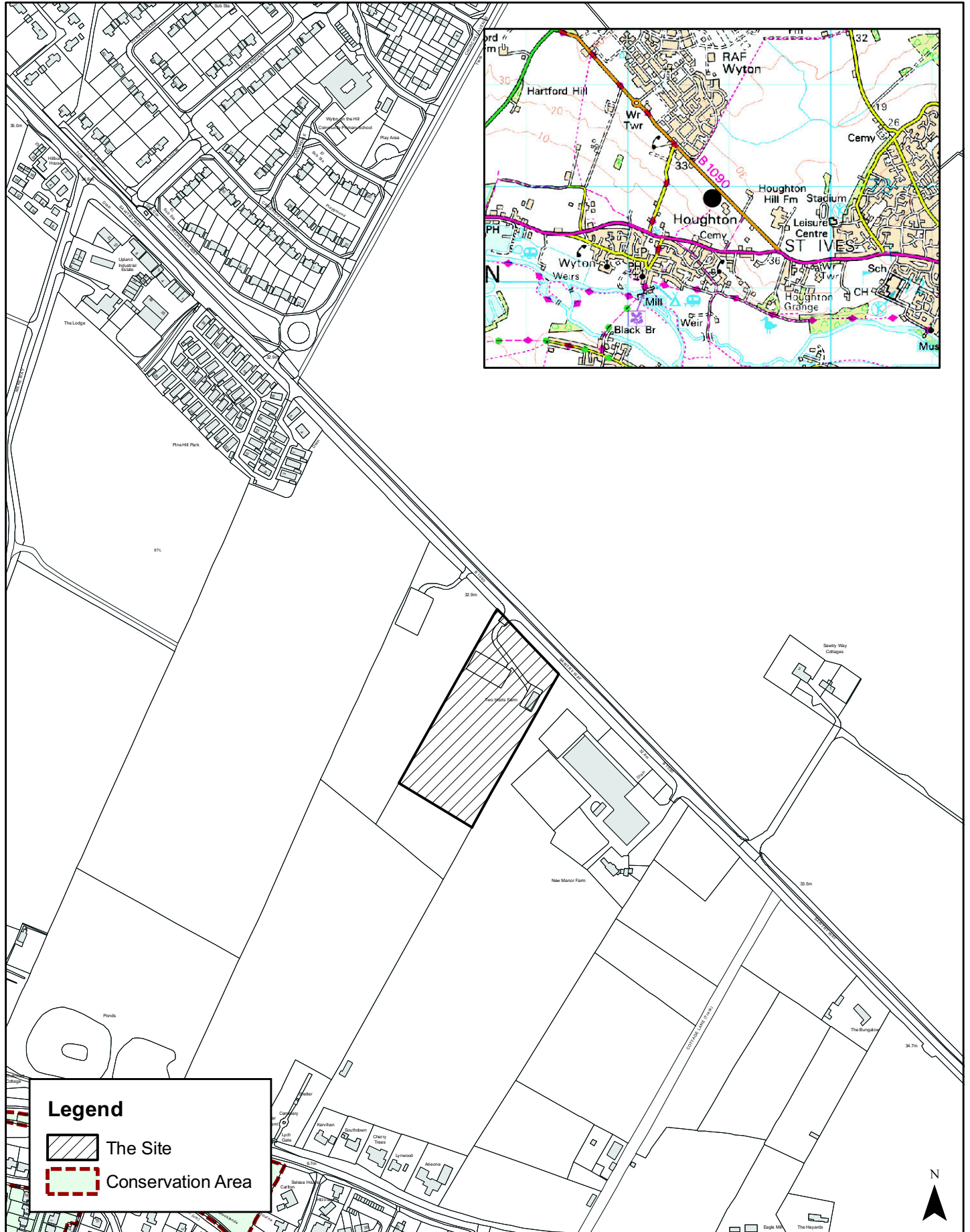
**Commenter Type:** Town or Parish Council  
**Stance:** Customer objects to the Planning Application  
**Reasons for comment:**  
**Comments:** Houghton and Wyton Parish Council recommend that this application be REFUSED. We believe there is no substantial change from the last application (Ref: 1102045FUL). Our reasons for refusal then were: 'Houghton and Wyton Parish Council recommend that this application be REFUSED pending detailed explanations of the need for the mobile home, greenhouse and container and their purpose in the open countryside. There is also some confusion over the 'proposed hay-loft' referred to on the drawings and not mentioned in the application'. Our reasons for refusal have not been overcome and still stand.

# Development Management Panel

Application Ref: 1200356FUL

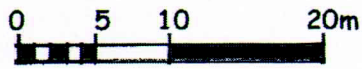
Location: Houghton and Wyton

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Scale: 1:5000

SAWTRY



1:500



GREENHOUSE  
5.1L x 2.7W x 2.5H



CONTAINER  
6.0L x 2.7W x 2.5H



SMALL  
TOURING  
CARAVAN



rev B 27 march 12  
reference to storage over stables omitted

	Paul Mitchell + Co tel/fax (01440)709355
	paul@paulmitchellarchitect.co.uk
Saling House, Woods Close, Sturmer, CB9 7ZH	
client :	Hollie Wright
job title :	Two Hoots Farm, Sawtry Road Wyton

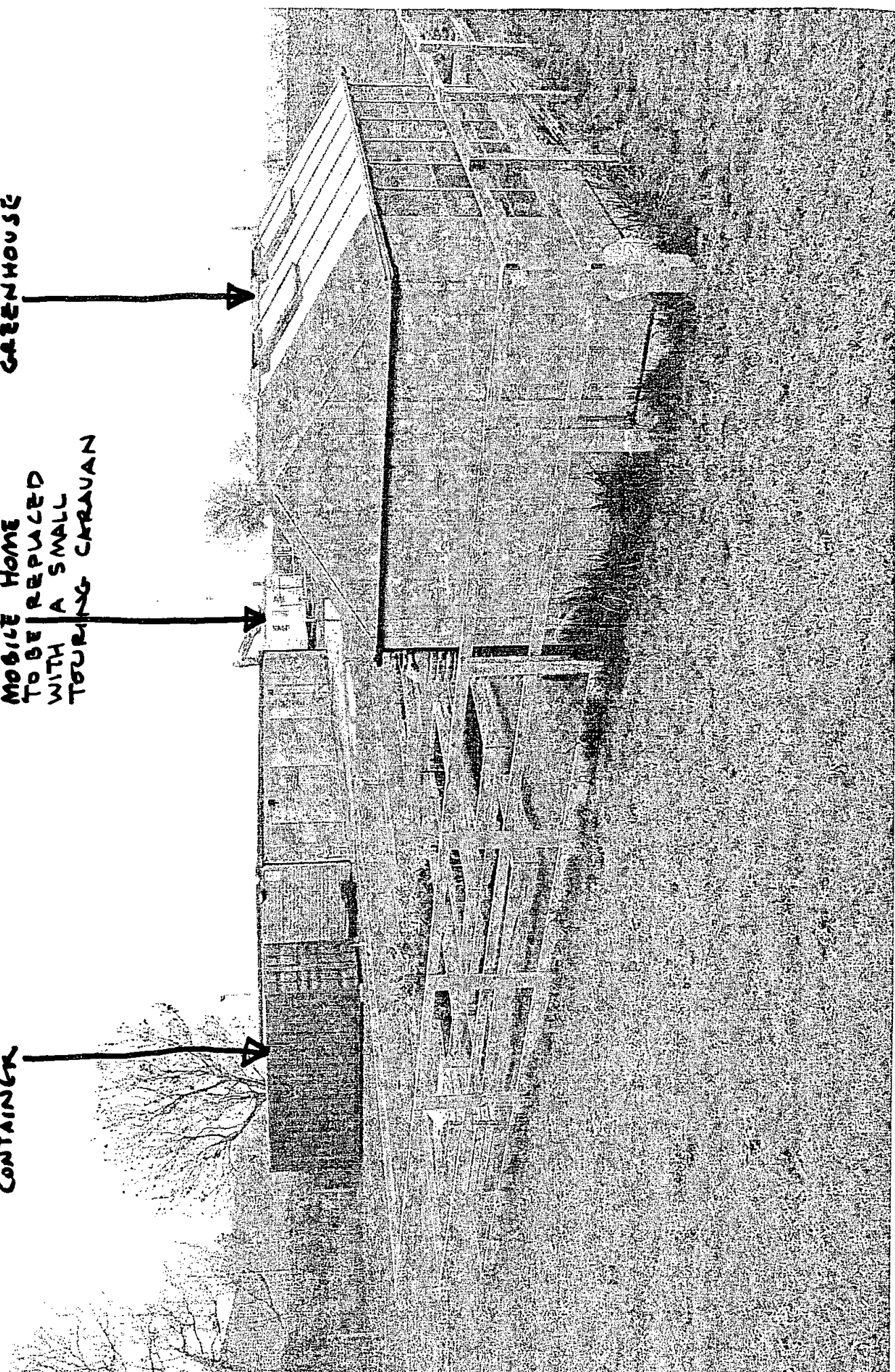
DRG 1011/02



CONTAINER

MOBILE HOME  
TO BE REPLACED  
WITH A SMALL  
TOURING CARAVAN

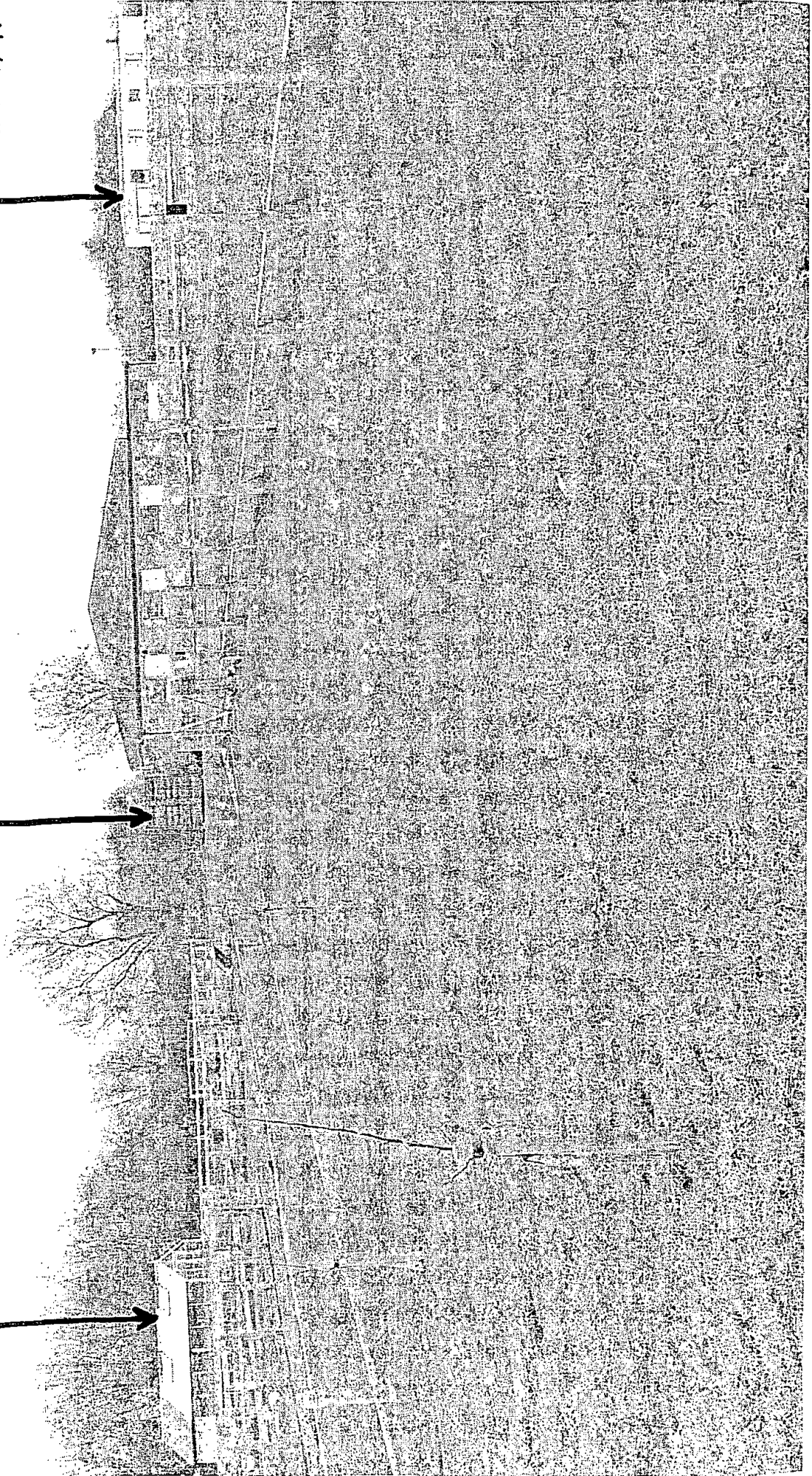
GREENHOUSE



MOBILE HOME  
TO BE REPLACED  
WITH A SMALL  
TOURING CARAVAN

CONTAINER

GREENHOUSE





**Case No:** 1102112S73 (VARY CONDITIONS)

**Proposal:** VARIATION OF CONDITION 2.1 OF PLANNING PERMISSION 0901530FUL TO RETAIN EXISTING ACCESS ON A PERMANENT BASIS. VARIATION OF CONDITION 10 OF PLANNING PERMISSION 1000720REP TO PROVIDE ALTERNATIVE ACCESS VIA ADJACENT TEMPORARY CAR PARK.

**Location:** REDUNDANT HINCHINGBROOKE WATER TOWER BRAMPTON ROAD

**Applicant:** LANDRO GROUP LTD.

**Grid Ref:** 523178 271831

**Date of Registration:** 09.02.2012

**Parish:** HUNTINGDON

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## RECOMMENDATION - APPROVE

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site comprises an existing temporary car park (including land under the A14) together with the site which includes the Water Tower.
- 1.2 The application seeks permission to vary two conditions (on separate applications). The conditions both relate to the access details in relation to the individual approvals respectively condition 2.1 of the temporary car park (permission 0901530FUL) and condition 10 of the water tower development (permission 1000720REP). In summary the proposal variation is to allow the approved two separate, adjacent access arrangements (as shown on the plans attached to the agenda) to be rationalised into a single access onto Brampton Road.

### 2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and

enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

### 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008). Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **SS6:** “City and Town Centres” – Thriving, vibrant and attractive city and town centres are fundamental to the sustainable development of the East of England and should continue to be the focus for investment, environmental enhancement and regeneration.
- **E1:** “Job Growth” – Identifies indicative targets for net employment growth in Cambridgeshire.
- **ENV6:** “The Historic Environment” - Within plans, policies, programmes and proposals local planning authorities and other agencies should identify, protect, conserve and, where appropriate, enhance the historic environment of the region including Conservation Areas and Listed Buildings.
- **ENV7:** “Quality in the Built Environment” - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995)  
Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **T18:** “Access requirements for new development” states development should be accessed by a highway of acceptable design and appropriate construction.
- **En2:** “Character and setting of Listed Buildings” - indicates that any development involving or affecting a building of architectural or

historic merit will need to have proper regard to the scale, form, design and setting of that building.

- **En5:** “Conservation Area Character” - development within or directly affecting conservation areas will be required to preserve or enhance their character and appearance.
- **En9:** “Conservation Areas” - development should not impair open spaces, trees, street scenes and views into and out of Conservation Areas.
- **En18:** “Protection of countryside features” – Offers protection for important site features including trees, woodlands, hedges and meadowland.
- **En20:** Landscaping Scheme. - Wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.
- **En22:** “Conservation” – wherever relevant, the determination of applications will take appropriate consideration of nature and wildlife conservation.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.
- **CS8:** “Water” – satisfactory arrangements for the availability of water supply, sewerage and sewage disposal facilities, surface water run-off facilities and provision for land drainage will be required.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

None relevant.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** “Sustainable development in Huntingdonshire” – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development. Including reducing water consumption and wastage, minimising impact on water resources and water quality and managing flood risk.
- **CS7:** “Employment Land” – At least 85Ha of new land for employment will be provided before 2026, in key identified areas.

3.6 Policies from the Huntingdonshire LDF Development Management DPD: Proposed Submission 2010 are relevant.

- **C1:** “Sustainable Design” – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.
- **C2:** “Carbon Dioxide Reductions” – major development proposals will include renewable or low carbon energy generating technologies. These should have energy generating capacity equivalent to 10% of the predicted total CO<sup>2</sup> emissions of the proposal.
- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E3:** “Heritage Assets” – proposals which affect the District’s heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.
- **E5:** “Trees, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value, including ancient woodland and veteran trees. They should wherever possible be incorporated effectively within the landscape elements of the scheme.
- **E9:** “Travel Planning” - To maximise opportunities for the use of sustainable modes of travel, development proposals should make appropriate contributions towards improvements in transport infrastructure, particularly to facilitate walking, cycling and public transport use. Proposals should not give rise to traffic volumes that exceed the capacity of the local or strategic transport network, nor cause harm to the character of the surrounding area.
- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development. Car free development or development proposals incorporating very limited car parking provision will be considered acceptable where there is clear justification for the level of provision proposed, having consideration for the current and proposed availability of alternative transport modes, highway safety, servicing requirements, the needs of potential users and the amenity of occupiers of nearby properties.
- **P1:** “Large Scale Businesses” – for major office uses where a town centre location is not achievable, other sites may be considered favourable within the built-up areas of settlements within the Spatial Planning Areas where it can be demonstrated that no sequentially preferable site is available and suitable or the scale of development is inconsistent with the function and character of the define town centre, or the site is located within an established commercial area.
- **P4:** “Town Centre Uses and Retail Designations” – proposals for retail, leisure, office, cultural and tourism facilities and

other main town centre uses should be located within the defined town centres of the Market Towns, unless they accord with exceptions allowed for elsewhere in the LDF.

Huntingdonshire Design Guide Supplementary Planning Document 2007.

Huntingdon West Area Action Plan 2011: Policy HW5 which identifies the sites as being suitable for office use (Class B1a) in the case of the temporary car park, and either B1a or b or D1 use in the case of the water tower.

#### **4. PLANNING HISTORY**

- 4.1 The most relevant planning history clearly relates to the two applications which this application seeks to vary. The temporary car park permission (0901530FUL) expires on 25 November 2012. The water tower permission (1000720REP), which has yet to be implemented, expires on 5 August 2013. The applicant has submitted an application to discharge all of the pre-commencement conditions pertaining to the water tower permission.

#### **5. CONSULTATIONS**

- 5.1 **Huntingdon Town Council - Recommend REFUSAL** (copy attached).
- 5.2 Highways Agency – no objection.
- 5.3 Cambridgeshire County Council Highways - The main concern with the original application is that the access to the car park and to the water tower if not amalgamated would be too close with regards to their proximity to each other and cause confusion and hence a danger to users of the highway. Therefore this application is requesting that the water tower be accessed through the car park removes this issue. With this proposal any issues that arise as part of the entry to the water tower will be remote from the highway and not raise any concerns for users of the highway I therefore have no objection to this proposal
- 5.4 Network Rail – no objection in principle.

#### **6. REPRESENTATIONS**

- 6.1 None received.

#### **7. SUMMARY OF ISSUES**

- 7.1 The main issues to consider in respect of this application are the principle of the uses; the proposed access details; the location of the development; design and the impact on heritage assets. It should be noted that although the application seeks to vary two conditions the Local Planning Authority has to re-assess the proposal against current policy and considerations.

#### **Principle of the Uses**

- 7.2 Given that the temporary use of the car park is extant but expiring later this year it is considered that it is appropriate to condition the use of that part of the land such that the use shall expire on 25 November 2012.
- 7.3 With regard to the water tower site the proposed office use is considered appropriate having regard to Policy HW5 of the Huntingdon West Area Action Plan which identifies the site as being appropriate for B1a use. As Section 73 applications cannot be used to lengthen planning permissions it considered necessary to limit the commencement of that development to 5 August 2013.
- 7.4 The principle of both uses therefore remains acceptable subject to the respective time limits. For the purposes of clarity the commencement of development for the purposes of the access will be covered in a condition which is very similar to that imposed on the 1000720REP permission.

### **Proposed Access Details**

- 7.5 The access details approved as part of the temporary car park development have been provided. However in light of the requirement of condition 10 on the water tower permission it is considered necessary and reasonable to re-impose this condition and require the works to be undertaken prior to the commencement of the water tower development.
- 7.6 The further details required by condition should also require details of the junction within the site between the two uses.
- 7.7 The Town Council's concerns are noted in that they consider that the temporary access arrangements should be continued on that basis. However the suggested condition which requires the temporary car park use to cease would control the future use of the access. The views of the County Council identify the improvements that would be created and officers attach significant weight to that view. The Highways Agency's have also raised no objection.
- 7.8 Therefore subject to conditions the proposed access arrangements are considered to enhance the existing relationship.

### **Location of the Development**

- 7.9 The location of the development has been previously considered by the Council and also the Planning Inspectorate. Policy HW5 of the Area Action Plan supports the development of the water tower site for, inter alia, office use. The temporary nature of the car park use is such that the development of that site for future alternative uses would not be compromised.

### **Design and Impact on Heritage Assets**

- 7.10 The design of the water tower proposal is again considered to be acceptable. The development would also have an acceptable impact upon the character and appearance of the Conservation Area whilst also not harming the setting of any nearby Listed Buildings.

## Conclusion

- 7.11 The proposal seeks to vary two planning conditions in order to rationalise the vehicular access arrangements onto Brampton Road. The current approvals allow for two individual accesses which would be located side-by-side on the entrance onto Brampton Road. The proposal receives support from the County Council Highways Officer who considers that it would remove the potential conflict resulting from two individual accesses.
- 7.12 The principle of the associated land uses are considered to be acceptable subject to conditions repeating the requirement to cease the temporary car park use and the date on which the water tower development should be implemented. The location of the proposed office development is considered to be acceptable having regard to the Area Action Plan and the temporary nature of the car park should not undermine the development of that site for the uses identified within the Area Action Plan. The design and impact of the proposal upon heritage assets is, as with the consideration of the previous applications, considered to be acceptable.
- 7.13 The proposed development is therefore considered to be in compliance with development plan policies and there are no material planning considerations which weigh against the proposal. In summary the development is acceptable because:
- \* It would create an acceptable access arrangement onto Brampton Road;
  - \* The proposed uses are appropriate subject to conditions requiring their cessation and commencement respectively;
  - \* The design of the proposal is considered acceptable;
  - \* The proposal would not harm the character and appearance of the Conservation nor would it harm the setting of nearby Listed Buildings.

**8. RECOMMENDATION - APPROVE** subject to conditions to include the following:

**Nonstand** The proposed temporary car park use (the area of which is defined in planning permission 0901530FUL) shall expire on 25 November 2012

**Nonstand** The proposed conversion of the water tower to form offices (the area of which is defined in planning permission 1000720REP) shall be implemented by/on 5 August 2013

**Nonstand** Details of access onto Brampton Road (including engineering drawing) and internal junction. The access shall then be provided prior to the first use of the water tower for office use

**Nonstand** Material samples (water tower)

**Nonstand** Landscaping (water tower and retain car park landscaping)

**Nonstand** Retention of trees (water tower)

**Nonstand** Construction Method Statement in relation to trees and footpath

**Nonstand** Car parking details (water tower)

**Nonstand** Green Travel Plan (water tower)

**(Nonstand)** Method of illumination (water tower)

**(Nonstand)** Remove PD rights for telecommunications equipment  
(water tower)

**(Nonstand)** Details of plant and machinery

**CONTACT OFFICER:**

Enquiries about this report to **Mr Andy Brand Development Management  
Team Leader 01480 388490**



HUNTINGDON TOWN COUNCILPLANNING COMMENTS      1<sup>st</sup> MARCH 2012

:

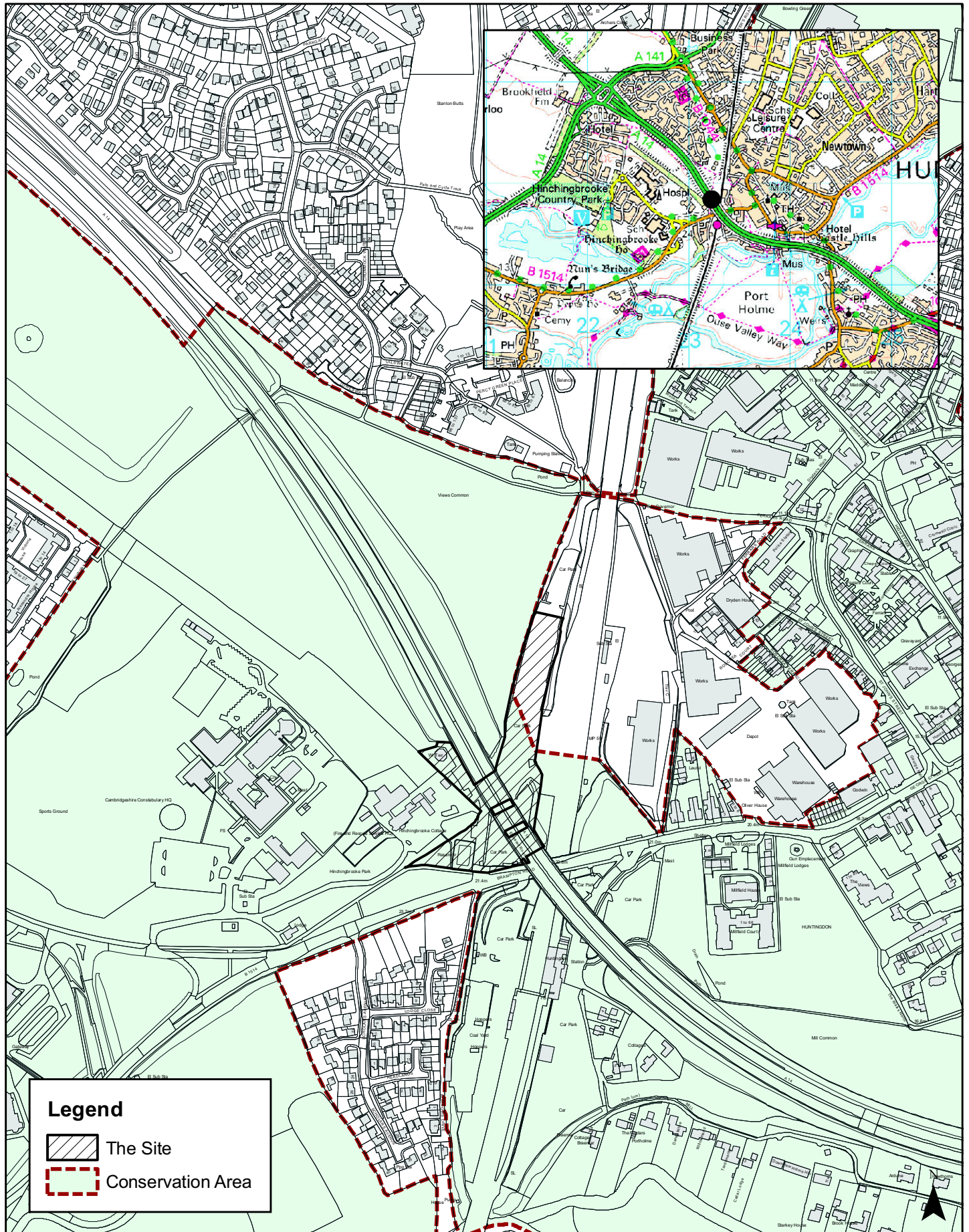
1102076FUL	WEST
Mrs L Pyrkos, 58 Bassenthwaite, Huntingdon PE29 6UL	
First floor side extension onto detached property - 58 Bassenthwaite, Huntingdon PE29 6UL	
<b>Recommend APPROVAL. Providing there are no objections from neighbouring properties, the Panel considers the proposals acceptable.</b>	
Amendment 01/03/2012 - Corrected ownership certificates received	
<b>1st March 2012 - The Panel noted the decision</b>	
1102101CAC	WEST
Travis Perkins, Ryehill Close, Lodge Farm Industrial Estate, Northampton NN5 7UA	
Demolition of 12-13 and ancillary warehouse to rear - 12-13 Ermine Street, Huntingdon PE29 3EY	
<b>Recommend APPROVAL. The proposals are entirely in keeping with good management of the site.</b>	
1102112S73	WEST
Landro Group Ltd., c/o Barker Storey Matthews, Peterborough PE1 1JL	
Variation of Condition 2.1 of planning permission 0901530FUL to retain existing access on a permanent basis. Variation of condition 10 of planning permission 1000720REP to provide alternative access via adjacent temporary car park - Redundant Hinchingbrooke Water Tower, Brampton Road, Huntingdon PE29 3BN	
<b>Recommend REFUSAL. The panel considered that there was no justification for the variation and that an extension to the temporary approvals would be a preferable solution in the circumstances.</b>	
1200117FUL	WEST
Mr Quang Trung, Creatip, 18-19 Silver Street, Kettering NN16 0BN	
Change of use from retail to nail bar - 86A High Street, Huntingdon PE29 3DP	
<b>The Panel noted that the application had been WITHDRAWN</b>	

# Development Management Panel

Application Ref: 1102112S73

Location: Huntingdon

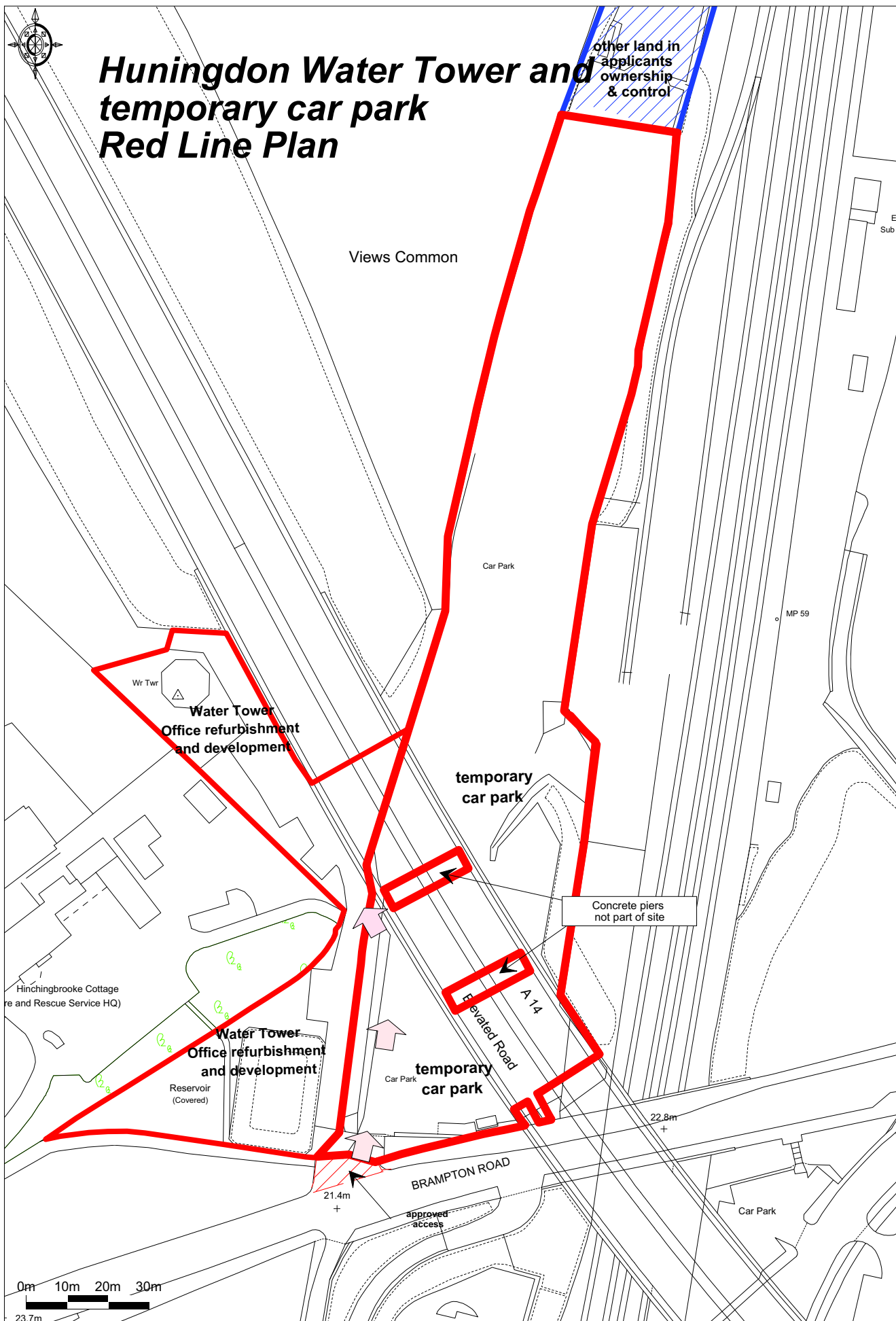
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Scale: 1:5000

Car Park - land at  
Brampton Road, Huntingdon

# Huntingdon Water Tower and temporary car park Red Line Plan



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Getmapping plc 2012. Plotted Scale - 1:1250





Hinchingbrooke Cottage -  
Fire & Rescue Service HQ

East Coast Mainline -  
To London




Brampton Road  
Asphalt - 30mph

A14 -  
Dual Carriageway  
Asphalt - 70mph

Huntingdon Station  
Car Park

Residential Area

**Key**

-  Existing Footpath/Public Highway
-  Area of Permissive Path Agreement
-  Area to be maintained by Land Owner

No	Revision	Date	Drawn By	Checked By

When revisions to be shown, do not tick off the details.  
Any discrepancies, written or verbal, should be brought to the attention of the engineer immediately.  
This drawing is to be read in conjunction with the relevant Bills of Materials and Local Authority Specifications.  
CDM NOTE: The design has been undertaken as far as possible to avoid risks to health and safety on site and to control the effects of any unavoidable risks.  
All relevant information identifying the unavoidable risks has been passed to the statutory supervisor for inclusion in the Health & Safety plan.  
The Health & Safety plan will be issued by the statutory supervisor with these drawings.

Project: Landro Development, Huntingdon

Drawing Description:  
**Permissive Path Agreement**

Client:

Drawing Number:  
**E2121/3**

Drawn By:  
DHD


Checked By:  
ZK-M-0

Scale:  
**1:500 @ A3**

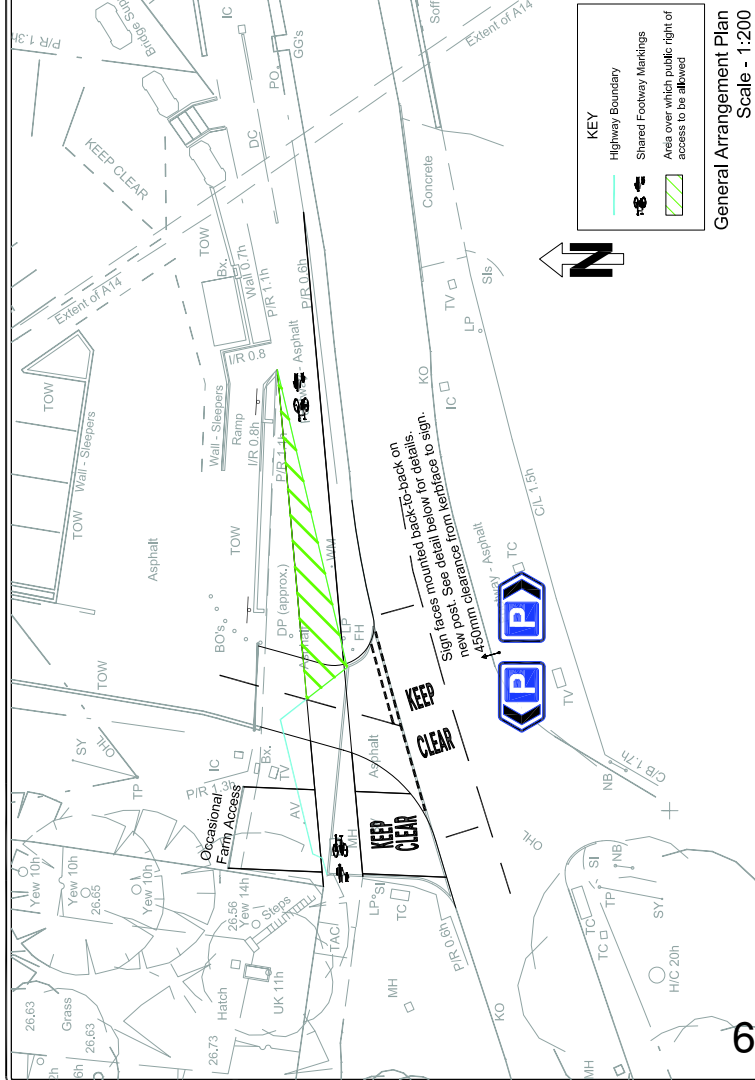
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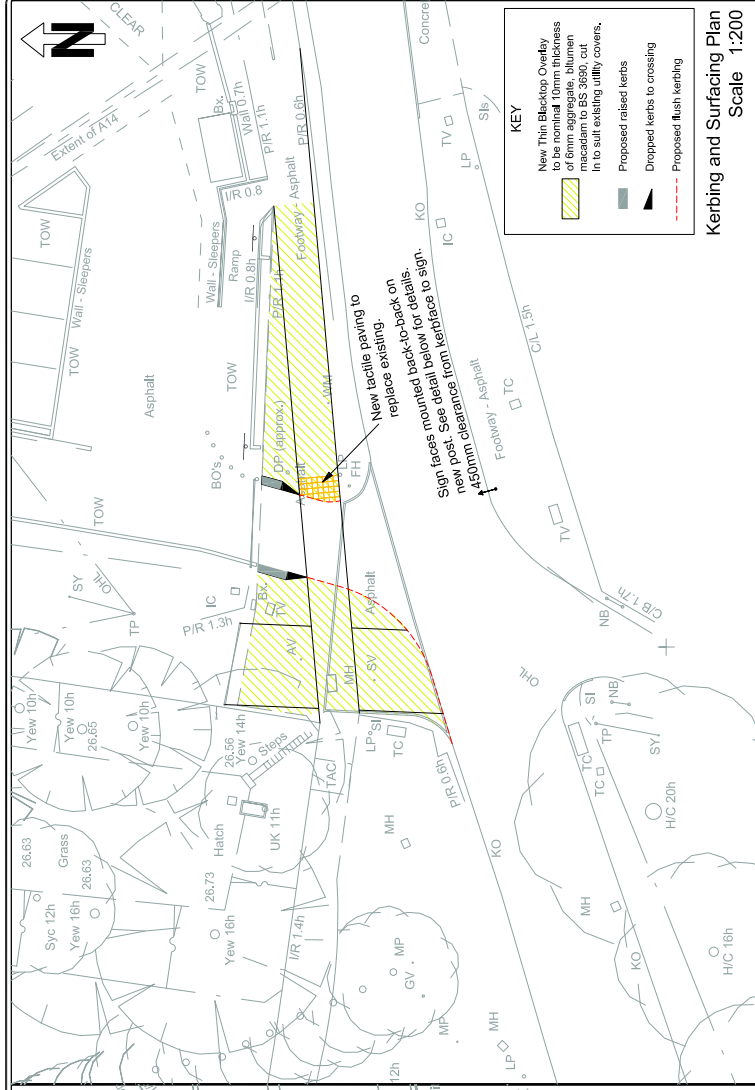
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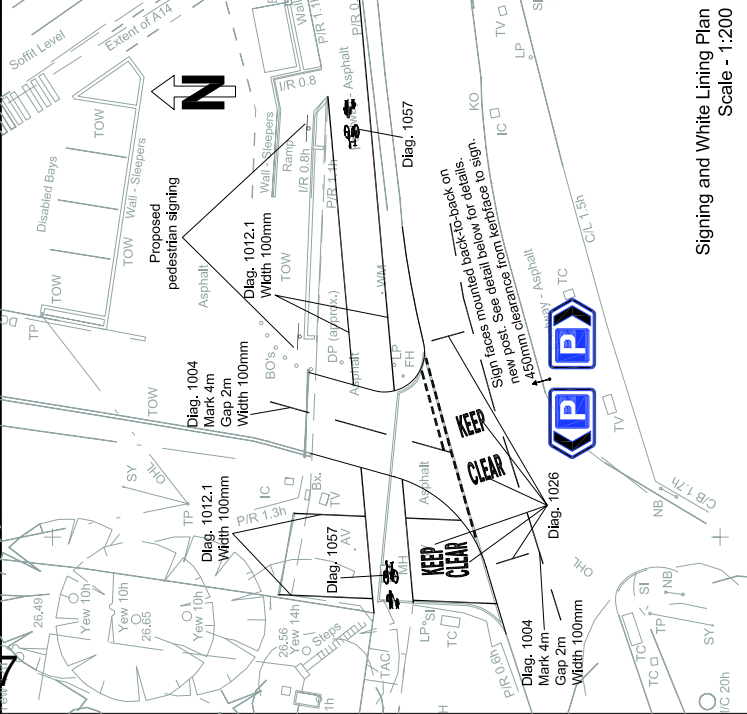
**Wormald Burrows Partnership**  
Civil Engineering Consultants  
125-126 Market Street, Huntingdon, Cambs, SG4 8AS  
Tel: 01753 731254 Fax: 01753 731844  
Web: www.wormaldburrows.co.uk  
Email: enquiry@wormaldburrows.co.uk



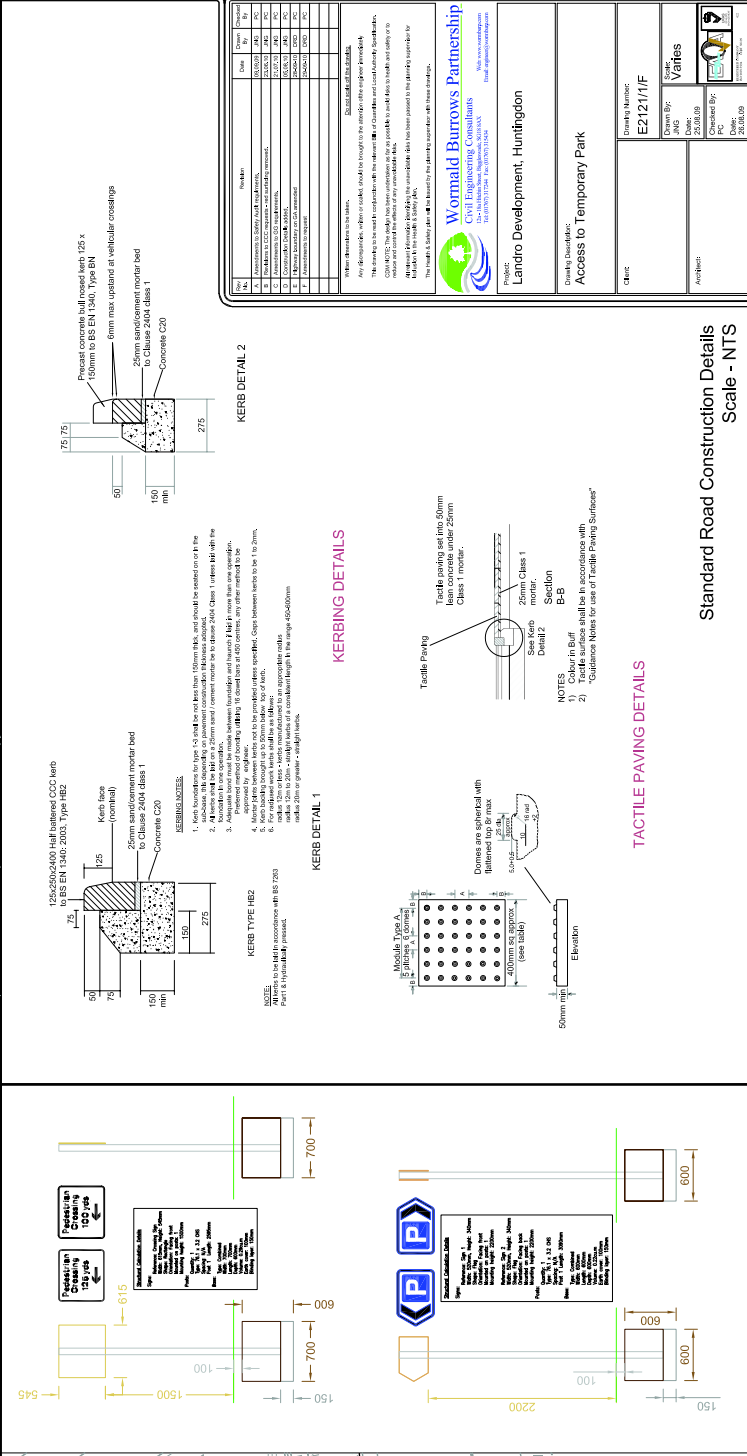
Signing and White Lining Plan  
Scale - 1:200



Kerbing and Surfacing Plan  
Scale 1:200



Standard Road Construction Details  
Scale - NTS



**Wormold Burrows Partnership**  
 Civil Engineering Consultants  
 100, The Quadrant, Huntingdon, Cambridgeshire, PE10 0AA  
 Tel: 01455 512111 Fax: 01455 512112  
 Email: info@wormoldburrows.co.uk  
 Website: www.wormoldburrows.co.uk

Rev	Date	By	For
1	26.03.20	JMS	ISSUED FOR PERMIT
2	26.03.20	JMS	REVISED FOR PERMIT
3	26.03.20	JMS	REVISED FOR PERMIT
4	26.03.20	JMS	REVISED FOR PERMIT
5	26.03.20	JMS	REVISED FOR PERMIT
6	26.03.20	JMS	REVISED FOR PERMIT
7	26.03.20	JMS	REVISED FOR PERMIT
8	26.03.20	JMS	REVISED FOR PERMIT
9	26.03.20	JMS	REVISED FOR PERMIT
10	26.03.20	JMS	REVISED FOR PERMIT
11	26.03.20	JMS	REVISED FOR PERMIT
12	26.03.20	JMS	REVISED FOR PERMIT
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15	26.03.20	JMS	REVISED FOR PERMIT
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17	26.03.20	JMS	REVISED FOR PERMIT
18	26.03.20	JMS	REVISED FOR PERMIT
19	26.03.20	JMS	REVISED FOR PERMIT
20	26.03.20	JMS	REVISED FOR PERMIT

**Project:** Landro Development, Huntingdon  
**Drawn by:** E2121/1/F  
**Checked by:** JMS  
**Date:** 26.03.20  
**Project:** Access to Temporary Park  
**Client:**  
**Sheet:**

**AMENDED**

06/00ZSOFUL

This plan supersede the Scan Reference

Drawing Reference: Drawg 2 Rev D

This is an additional document  
Additional comments:

Official Initials:  
Date Submitted:

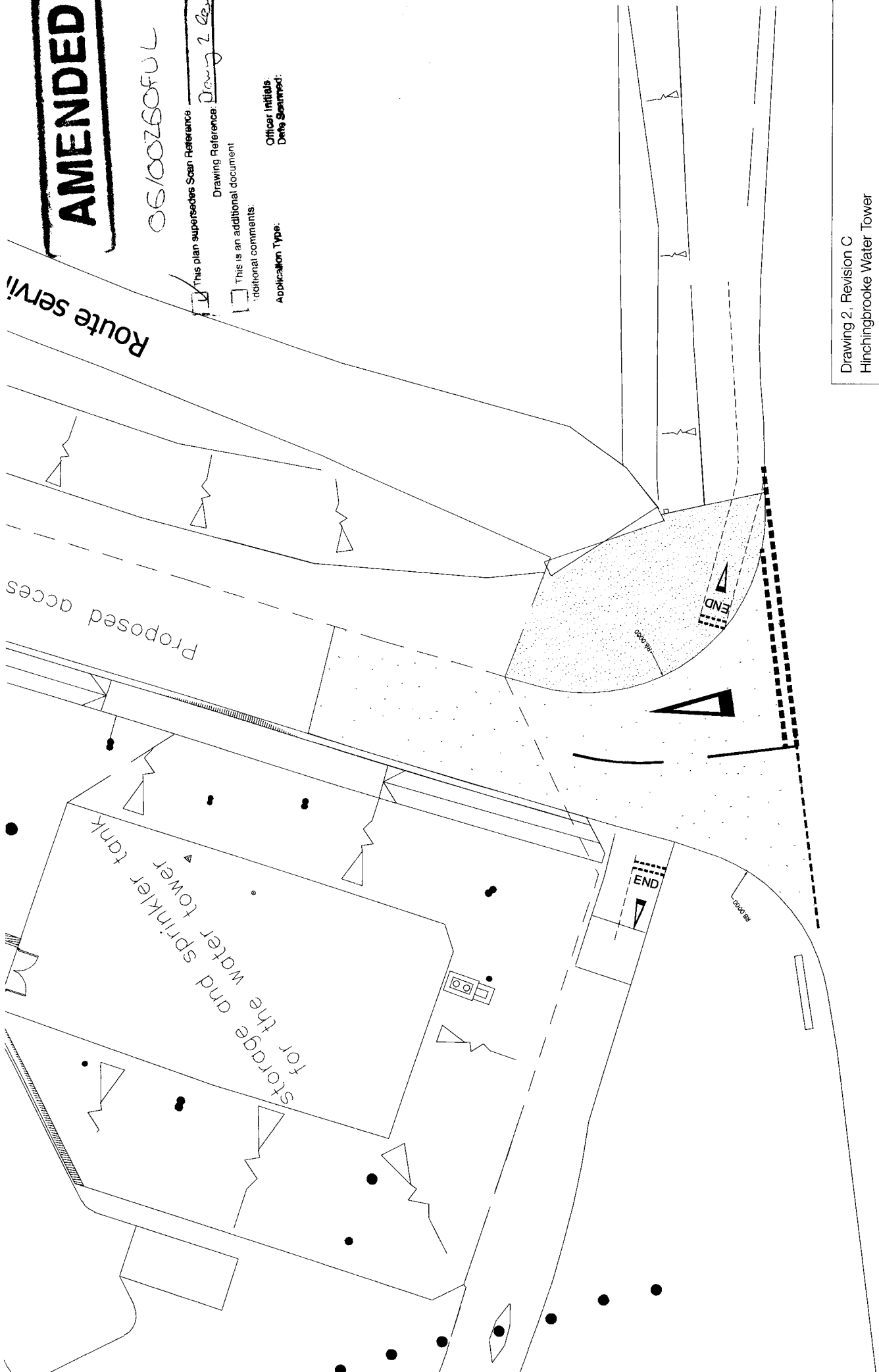
Application Type:

Route serv!

Proposed acces

Storage and sprinkler tank  
for the water tower

68



Drawing 2, Revision C

Hitchingbrooke Water Tower

**Preliminary Proposals for Site Access Junction Layout**

Scale 1:200 at A3

ARUP

job no: 117281

Brampton Road

**Case No:** 1102140FUL (FULL PLANNING APPLICATION)

**Proposal:** REPLACEMENT DWELLING

**Location:** SHERWOOD HOUSE CHAPEL ROAD RAMSEY HEIGHTS HUNTINGDON

**Applicant:** MR M WOOLCOTT

**Grid Ref:** 523976 284726

**Date of Registration:** 09.02.2012

**Parish:** RAMSEY

---

## RECOMMENDATION - REFUSE

### 1 DESCRIPTION OF SITE AND APPLICATION

- 1.1 This site is located at the end of Chapel Road, Ramsey Heights, 4.5km west of Ramsey. It has an area of approximately 0.52ha., and is presently occupied by a dwelling and a series of sheds and outbuildings. The dwelling is two storey and is of brick and tile construction. There is a conservatory on the rear. In the Design and Access Statement, the comment is made that the existing dwelling has settled on its foundations and is suffering from cracking. The outbuildings are mixed in their scale and design, but the majority are steel framed and sheet clad. There is a mature willow tree in the centre of the site and a mature tree/hedge screen along the road frontage. The other boundaries are generally open. There is an access to the site from Chapel Road. The site is not a working farm but the applicant does keep a number of animals and several of the adjoining fields are used as paddocks.
- 1.2 Development along Chapel Road is scattered and agricultural land predominates. There are fields or paddocks on three sides of the application site and a dwelling opposite.
- 1.3 The proposal is to demolish the existing house and to erect a replacement. The present house has overall dimensions of approximately 10m. by 8m. (excluding the conservatory), whereas the proposed replacement will measure 12.2m by 15.2m, added to which is a single storey section measuring 4.8m by 5.6m. The height to the ridge will be 8.8m and the height to eaves 5.5m. The building will have hipped roofs and the principal materials will be buff brick and slates. Stone detailing will be used round the windows and there will be a small porch over the front door. In addition to the demolition of the dwelling, a shed between it and the road will also be removed. The existing access will be used.
- 1.4 The site is in the open countryside, and the land is liable to flood.

## 2 NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

## 3 PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

- 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

**ENV7** – Quality in the Built Environment – requires new development to be of a high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

- 3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

None relevant

- 3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

**H23** Outside Settlements - general presumption against housing development outside environmental limits with the exception of specific dwellings required for the efficient management of agriculture, forestry and horticulture.

**H27** – replacement dwellings in the country may be acceptable provide that proposals only involve modest changes in building size,



are of good design, well related to their setting and do not create or perpetuate a traffic hazard.

**H31:** “Residential privacy and amenity standards” – indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.

**En17** “Development in the countryside” – development in the countryside will be restricted to that which is essential to the efficient operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.

**En25:** “General Design Criteria” – indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make provision for landscaping and amenity areas.

**CS8:** “water” – satisfactory arrangement for the availability of water supply, sewerage and sewage disposal facilities, surface water runoff facilities and provision for land drainage will be required.

**CS9:** Flooding. The Council will normally refuse development proposals that prejudice schemes for flood water management.

- 3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

None relevant

- 3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

**CS3:** “The Settlement Hierarchy” – states that any area not specifically identified are classed as part of the countryside, where development will be strictly limited to that which has essential need to be located in the countryside.

- 3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

**C5:** “Flood Risk and Water Management” – development proposals should include suitable flood protection / mitigation to not increase risk of flooding elsewhere. Sustainable drainage systems should be used where technically feasible. There should be no adverse impact on or risk to quantity or quality of water resources.

**E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.

**E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy C3, in order to protect the surrounding countryside and to promote wider sustainability objectives.

**E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.

**H5:** “Homes in the Countryside” proposals to alter, extend or replace existing dwellings should not: a. significantly increase the height or massing of the dwelling, subject to the need to provide satisfactory living conditions; b. significantly increase the impact on the surrounding countryside; and entail development where only the site of the previous dwelling exists or the previous dwelling has been abandoned.

**H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

**P7:** “Development in the Countryside” – development in the countryside is restricted to those listed within the given criteria.

a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;

b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;

c. renewable energy generation schemes;

d. conservation or enhancement of specific features or sites of heritage or biodiversity value;

e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;

f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;

g. sites allocated for particular purposes in other Development Plan Documents.

The SPD Design Guide is a material planning consideration.

#### **4 PLANNING HISTORY**

4.1 No relevant planning applications.

#### **5 CONSULTATIONS**

5.1 **Ramsey Town Council** – Approve (copy attached).

5.2 **Middle Commissioners** – evidence needs to be submitted to prove that a viable scheme for flood risk management exists or can be provided.

#### **6 REPRESENTATIONS**

6.1 Neighbours – one communication has been received. The writer supports the proposal, commenting that the removal of the existing building, and its replacement by the proposed one would enhance the local area and would provide the family with more adequate accommodation.

#### **7 SUMMARY OF ISSUES**

7.1 The issues in this case are the principle of the development, the effect of the proposal on the character and appearance of the site and the area in general, the impact on neighbours, the highway situation and flooding. The applicant has commented that the existing building has subsided over the years and is now beyond economical repair.

- 7.2 The principle of the development
- 7.3 This site is in the open countryside for the purposes of the Development Plan and emerging planning guidance. Current policies are to restrict development in the countryside to that for which a rural location can be justified. However, it should be noted that there has been a dwelling on this site for many years and it is therefore considered that the principle of the use of the site for a single residential unit is well established.
- 7.4 The impact of the development on the site and the surrounding area.
- 7.5 The erection of a replacement dwelling in the countryside is subject to the provisions of policy H27 of the Local Plan 1995, and policy H5 of the DMDPD. Both policies impose restrictions on the amount by which the size of the original building can be increased, in order to protect the countryside from inappropriately large and visually intrusive development. Policy H27 refers to “only modest changes in building size”, whilst policy H5 states that replacement dwellings should not “significantly increase the height and massing of the original building”, and should not “significantly increase” its impact on the surrounding countryside. It should be noted that the first part of policy H5 is subject to the caveat that any proposal is subject to the need to provide satisfactory living accommodation for the occupiers. In this respect, the D and A Statement refers to the fact that the applicant has six children thus giving a total of eight residents. The proposed dwelling will have five bedrooms.
- 7.6 When assessing a proposal in the light of policies H27 and P5, due regard must be had to the amount by which the size of an existing dwelling can be increased by using its permitted development rights. In respect of the present dwelling, it could be extended by an addition of up to 4.95m on either side, giving a total potential width of 19.8m. This compares with an overall width of the proposed dwelling of 20m, although it should be noted that the permitted development extensions would be limited to 4m in height compared with a ridge height of 8.8m for the proposed dwelling. On the rear, a 3m deep, two story extension could be added, although the height should not exceed that of the original dwelling. Based on these figures, the building could potentially have a gross external floor area (both floors) of 295 sq.m., whereas the proposed dwelling would have a floor area of 359 sq.m.
- 7.7 Notwithstanding the possibility of extending the existing dwelling under its permitted development rights, it is considered that the proposed dwelling will represent a substantial increase in the overall bulk and scale of the original structure and will, as a consequence, significantly increase its impact on the surrounding countryside. When compared with the height of the original building (approximately 7m), the height of the proposed building will be 8.8m., and it will be a full two storeys throughout (with the exception of the utility room). This contrasts unfavourably with the small amount of first floor accommodation in the existing building. This combination of the overall increase in the height of the building and the substantially great bulk at first floor level represents more than a “modest” change in the building size as referred to in policy H27, and “significantly”

increases the height and massing of the original building as referred to in policy H5. It will not be of a “similar scale” to the original dwelling as mentioned in paragraph 2.88 of the HLP1995. When compared with the existing dwelling, the proposal will have a considerably greater impact on the appearance and character of the site and the open countryside in general. It will be significantly more intrusive than the present building.

- 7.8 Policy H5(a) requires the proposal to be assessed against the need to provide satisfactory living conditions for the occupiers. Need is not defined in the policy or the subsequent text and thus it falls for each case to be assessed on its individual merits. Whilst the proposed dwelling would provide much improved living conditions for the applicant and his family, this matter is not considered to be an overriding planning consideration, and the assessment of the proposal must rely on the degree of difference between the existing and proposed dwellings. As referred to above, the differences in this case are considered to be significant.
- 7.9 In the light of the above comments, it is considered that the proposal is contrary to the provisions of policies H27 and H5.
- 7.10 Notwithstanding the objection to the proposal in terms of its scale, massing and impact, it is considered that the design of the dwelling does not adequately reflect the general style of the traditional building found in this part of the District. Advice on design can be found in the SPD Design Guide which, in paragraph 4.1.2 it states that, where possible, house plans should be based on the simple rectangular form with a wide frontage/shallow plan, where the depth of the building is typically in the range of 4.5m to 6m. Larger properties can be created by additions to the basic regular plan although such additions should be subservient to the principle structure. Roof pitches should be in the order of 25 degrees to 55 degrees depending on the material. The proposed pitch, at 35 degrees is within this range but the height of the building is considered to be excessive due to the deep plan of 8.5m. The building is monolithic in terms of its overall massing and shape, and it lacks the hierarchy of elements which are common in traditional fenland buildings. This hierarchy gives interest to the overall shape of a building in terms of it having differing ridge heights and varying block sizes. Hipped roofs are not a traditional feature of buildings in the area although they do appear on many houses and bungalows built during the 1930's and subsequent decades. The large floor to ceiling windows on the rear of the building will give good views over the adjacent countryside but these features, whilst they may be contemporary, do not necessarily sit well with the other, less contemporary parts of the design.
- 7.11 Overall, it is considered that the scale, design and massing of the building fail to respect the character of the local vernacular and the proposal does not comply with policies ENV7, EN25 and E1.
- 7.12 The effect of the development on the amenities of the immediate neighbours.
- 7.13 There is only one dwelling (Warden's House) close to the application site, and this is the property on the other side of the road. The distance between the two is considerable (about 65m) and there is

screening between them in the form of the tree and hedge screen along the frontage of the application site. The proposal will have very little effect on the amenities of the immediate neighbour, and, although it will be visible from Warden's House, it will have a minimal effect in terms of loss of privacy and overbearing impact.

- 7.14 The proposal does not conflict with policies H31 and H7
- 7.15 Highway implications
- 7.16 The existing drive and access are being retained in their present form. They are adequate for their purpose and there is ample parking on site to meet the standards required by policy E10 and appendix 1 of the DMDPD (up to 2 spaces per dwelling).
- 7.17 Flooding
- 7.18 The site is on the very edge of flood zones 2 and 3 and it is within the 1000 year flood envelope. An FRA has been submitted with the application, and this has concluded that the site is not at risk of serious flooding. It also states that there is no evidence of the site flooding within the past 100 years.
- 7.19 Residential development is classified in the Technical Guidance to the NPPF as being in the "more vulnerable" category, and, for development within flood zone 3, a sequential test is required. The aim of this test is to steer new development to areas with a lower probability of flooding. If the development cannot be located in a zone with a lower probability, an exception test must be applied to show that it provides wider sustainability benefits that outweigh the flood risk, and that development will be safe for its lifetime taking account of the vulnerability of its users and without increasing flood risk elsewhere.
- 7.20 In this case, it should be noted that there is a dwelling on the site already and there is no evidence to suggest that the replacement of one dwelling by another, even one with a greater footprint, will increase the risk of flooding in the locality. The FRA has concluded that the probability of this site flooding is very low, and that, if it did occur, there would be ample warning. The EA has not commented on the proposal.
- 7.21 Overall, it is considered that the development does not pose any undue flooding risks and that it does not conflict with policies CS8, CS9 and C5.
- 7.22 Other issues
- 7.23 Trees – there is a large willow tree close to the existing dwelling. This is to be retained as part of the development but a root protection condition would be appropriate in the event of planning permission being granted.
- 7.24 Conclusions
- 7.25 1. The erection of a replacement dwelling is acceptable in principle

2. The scheme does not conform to the requirements of policies H27 and H5 in terms of its increase in scale and consequential impact on the character of the area.
3. The design of the building does not adequately reflect policies ENV7, En25 and E1
4. The proposal will not have an adverse impact on the amenities of any neighbours.
5. There are no overriding highway issues
6. There are no overriding flooding issues
7. There are no other material planning considerations which have a significant influence on the determination of this application.

7.26 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is considered that planning permission should not be granted in this instance.

7.29 If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**8. RECOMMENDATION – REFUSE** for the following reason:

8.1 The proposal would be contrary to the provisions of policies ENV7 of the East of England Plan 2008, policies H27 and En25 of the Huntingdonshire Local Plan 1995, and policies E1 and H5 of the Development Management DPD Proposed Submission 2010 in that the development, by reason of its form, bulk and massing would not adequately respect or reflect the scale and nature of the dwelling it is intended to replace and it would, thereby, result in an over-dominant feature which would be detrimental to, and have an adverse impact on, the open character and rural appearance of the site and the area in general. The proposed dwelling is unduly uniform in terms of its overall shape and massing and it lacks the hierarchy of elements and varying roof heights which are traditionally associated with dwellings located in a fenland landscape, and which give these buildings their essential character and appearance.

**CONTACT OFFICER:**

Enquiries about this report to **David Hincks Development Management Officer 01480 388406**



Pathfinder House, St Mary's Street  
Huntingdon. PE29 3TN  
mail@huntsdc.gov.uk

Tel: 01480 388388  
Fax: 01480 388099  
www.huntingdonshire.gov.uk

Head of Planning Services  
Pathfinder House  
St. Mary's Street  
Huntingdon  
Cambridgeshire PE 29 3TN

Application Number: 1102140FUL Case Officer David Hincks

**Proposal: Replacement dwelling**

**Location: Sherwood House Chapel Road Ramsey Heights**

**Observations of Ramsey Town/Parish Council.**

Please ✓ box as appropriate

Recommend **approval** because ..... (please give relevant planning reasons in space below)

Agreed by 10 votes to 3 with 1 abstention. The site is large enough to sustain the proposed dwelling.

Recommend **refusal** because... (please give relevant planning reasons in space below)

No observations either in favour or against the proposal

..... Clerk to Ramsey Town/Parish Council.

Date: 24/2/12

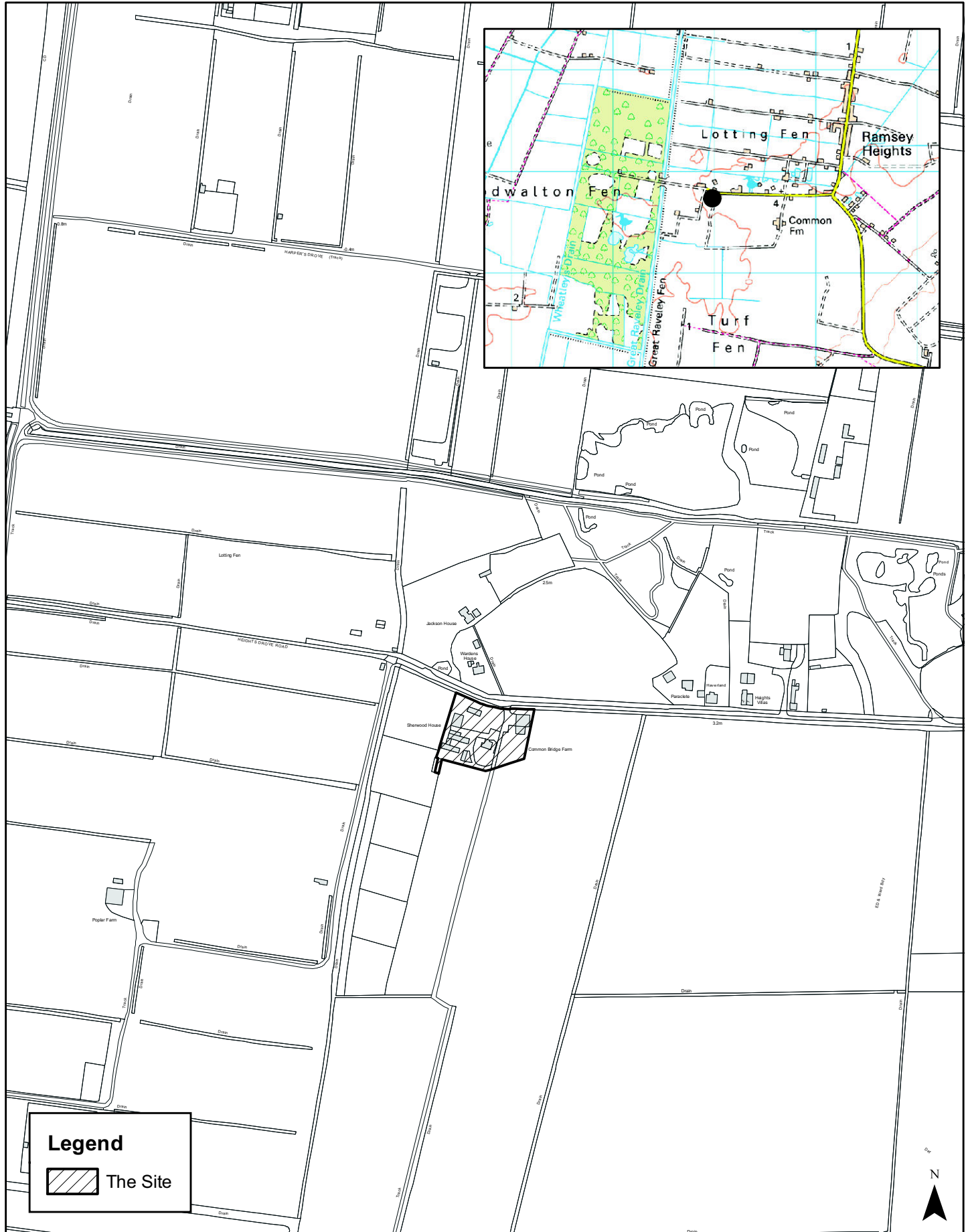
Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

# Development Management Panel

Application Ref: 1102140FUL

Location: Ramsey

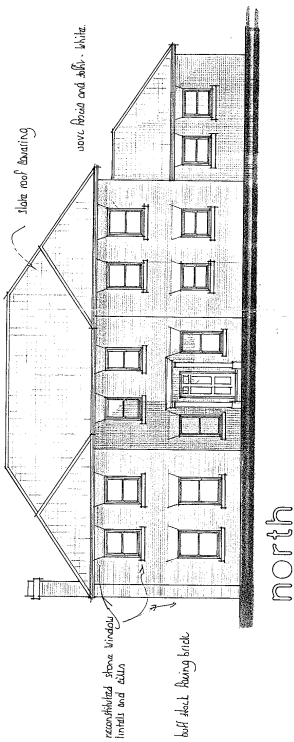
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Scale: 1:5000

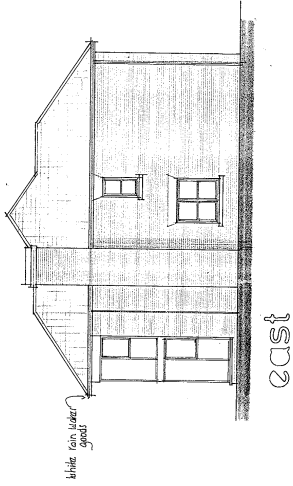




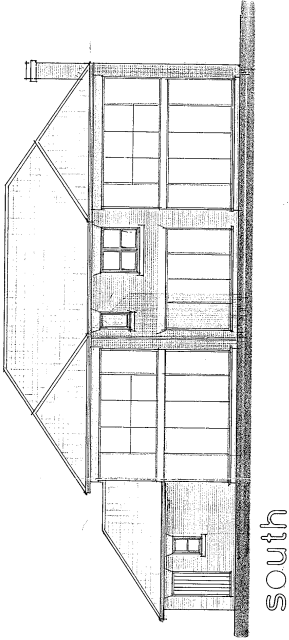


north

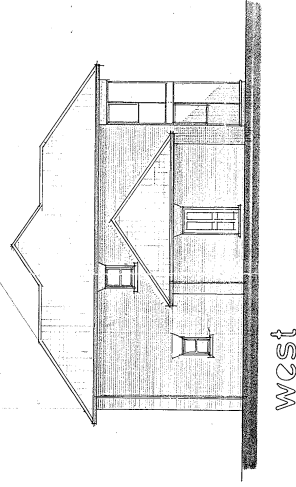
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 " " eaves = 5.5m



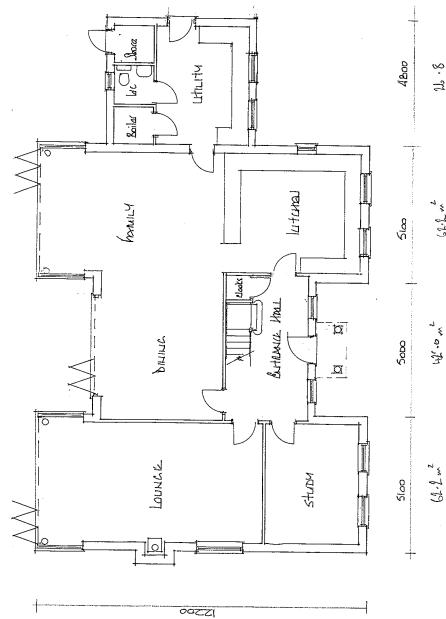
east



south

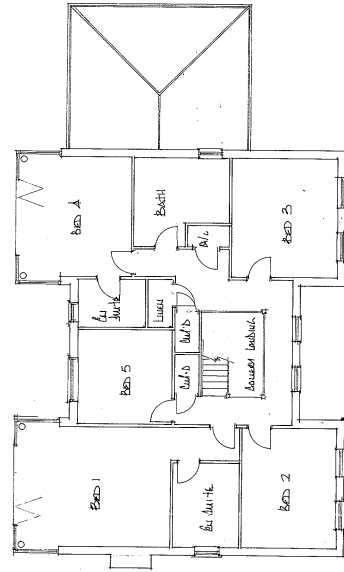


west



ground floor

359.6 m<sup>2</sup>  
 26.8  
 359.6 m<sup>2</sup>



first floor

11.8 m<sup>2</sup>  
 4.0  
 11.8 m<sup>2</sup>

EAST MIDLANDS  
 DESIGN ASSOC.

Architectural Consultants  
 Willow Lodge  
 Market Road  
 Spalding  
 Leics  
 PE11 3JA

Tel/Fax - 01753 820945  
 Email - info@eastmidlands.co.uk  
 Mobile phone - 07790 820944

client  
 Mr & Mrs M. LITTLE  
 Project  
 RECONSTRUCTION OF  
 SPALDING HOUSE  
 101/102 MARKET ROAD  
 SPALDING LEICESTERS. LE11 2AS

Drawing  
 Plans & Elevations  
 Prepared

Scale  
 1:100  
 Date  
 May 2011  
 Drawn  
 JAL  
 Rev'd  
 RBY



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**Case No:** 1102068FUL (FULL PLANNING APPLICATION)

**Proposal:** NEW SINGLE STOREY DWELLING

**Location:** LAND OPPOSITE 11 TO 17 TOWER CLOSE

**Applicant:** ROSE HOMES (EA) LTD

**Grid Ref:** 529093 285277

**Date of Registration:** 27.01.2012

**Parish:** RAMSEY

---

## RECOMMENDATION - APPROVE

### 1 DESCRIPTION OF SITE AND APPLICATION

- 1.1 This site is located a short distance to the north of the Church of St Thomas a Becket, and has a frontage to Tower Close. It measures approximately 37m by 32m and was formerly part of the gardens of a number of properties facing Church Green. The land has not been cultivated in recent years and, though natural regeneration is taking place, much of the centre of the site is relatively clear. There are a number of trees (mainly elder) along the site frontage but these are not in good condition and do not make a substantial contribution to the character of the area. The land rises gently to the south but the level increase is generally less than 1m. There is a substantial 1.8m high fence along the boundary with Tower Close and similar fences along the eastern and southern boundaries. There is a hedge along the western boundary. There is no access to the site at present.
- 1.2 Development in the vicinity is mixed in character with modern detached dwellings along Tower Close and older, traditional, properties along Church Green. Adjoining the site at the north eastern corner is a single storey, agricultural style building, and, on the western side, a substantial garden.
- 1.3 The proposal is to erect a detached, single storey dwelling. The building will be located along the site frontage, and will replace part of the existing fence. It will measure 20.1m by 5m, and will be of a style very similar to the adjoining agricultural building. The height to eaves will be 2.6m and the height to ridge will be 4.5m. The materials are yet to be agreed but will be brick and slate, and will be required to be of a high quality. There will be no fenestration along the Tower Close elevation of the building in order to retain the "agricultural" character of the building, although there will be three roof lights facing the road. An access into the site will be provided at the eastern end of the frontage, and the site will be secured by a field gate. Two parking spaces and a turning area will be provided within the curtilage of the site.
- 1.4 The site is in the built up area of the town and the boundary of the conservation area follows its northern boundary. The properties along the frontage of Church green are listed.

## 2 NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

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**ENV7** – Quality in the Built Environment – requires new development to be of a high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

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- 3.3 None relevant

- 3.4 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

**H31:** "Residential privacy and amenity standards" – indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.

**H32:** "Sub-division of large curtilages" states that support will be offered only where the resultant dwelling and its curtilage are of a size and form sympathetic to the locality.

**H33** – “sub-division of large curtilages affecting protected buildings and features states that the subdivision of large curtilages will not be supported where development will adversely affect the qualities of a Conservation Area or trees worthy of protection.

**En2:** “Character and setting of Listed Buildings” – indicates that any development affecting a building of architectural or historic merit will need to have proper regard to the scale, form, design and setting of the building.

**En5:** “Conservation area character” - development within or directly affecting Conservation Areas will be required to preserve or enhance their character or appearance.

**En6:** “design standards in conservation areas” – in conservation areas, the District Council will require high standards of design with careful consideration being given to the scale and form of development in the area and to the use of sympathetic materials of appropriate colour and texture.

**En9** – development will not normally be permitted if it would impair important open spaces, trees, street scenes and views in and out of Conservation Areas.

**En14:** “Open spaces, frontages and gaps in the built up framework or immediately adjacent” – development will not normally be allowed.

**En18:** “Protection for countryside features” – offers protection for important site features including trees, woodlands, hedges and meadows.

**En20:** landscape scheme – wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.

**En22** “Conservation” where relevant, the determination of applications will take appropriate consideration of nature and wildlife conservation.

**En25:** “General Design Criteria” – indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make provision for landscaping and amenity areas.

- 3.5 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

**HL5** – Quality and Density of Development - sets out the criteria to take into account in assessing whether a proposal represents a good design and layout.

- 3.6 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

**CS3:** “The Settlement Hierarchy” – Identifies Huntingdon, St Neots, St Ives and Ramsey and Bury as Market Towns in which development schemes of all scales may be appropriate in built up areas.

- 3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

**E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.

**E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy C3, in order to protect the surrounding countryside and to promote wider sustainability objectives.

**E3:** “Heritage Assets” – proposals which affect the District’s heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.

**E4:** “Biodiversity and Protected Habitats and Species” – proposals shall be accompanied by assessments of the likely impacts on biodiversity and geology including protected species, priority species and habitats or sites of importance for biodiversity or geology.

**E5:** “Trees, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value and these should be incorporated effectively within the landscape elements of the scheme wherever possible.

**E7:** “Protection of Open Space” – development proposals should not result in harm to spaces which; contribute to the distinctive form, character and setting of a settlement; create a focal point within the built up area; provide a setting for important buildings or scheduled ancient monuments; or form part of an area of value for wildlife, sport or recreation, including areas forming part of a ‘green corridor’.

**E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.

**H1:** “Efficient Use of Housing Land” – housing developments will optimise density taking account of the nature of the development site; character of its surroundings and need to accommodate other uses and residential amenities such as open space and parking areas.

**H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

- 3.7 The SPD Design Guide and the Ramsey Conservation Area Character Statement are material considerations.

## 4 PLANNING HISTORY

- 4.1 00/00278FUL – erection of three dwellings and garage. Refused. Appeal dismissed. Copy of plans attached. There have been subsequent preliminary enquiries relating to the possible development of this site.

## 5 CONSULTATIONS

- 5.1 **Ramsey Town Council** – Refuse (copy attached).
- 5.2 **English Heritage** – Does not wish to offer any comments. Application to be determined in accordance with national and local planning guidance and Authority’s own conservation advice.
- 5.3 **Middle Level Commissioners** – more information required on surface water drainage. All surface water should be piped to sewers or drains.



## 6 REPRESENTATIONS

### 6.1 Neighbours – four letters have been received and the following points have been raised:-

1. The proposal will have a significant impact on the setting of the adjacent listed buildings and on the conservation area in general. The development will be clearly visible from Church Green and will never be read as a converted ancillary building. It will be seen as a bungalow and, as such, will be out of character with the adjoining development and will not be sensitive to the form and appearance of the area as a whole.
2. English Heritage should be consulted due to the impact of the development on the character of the area.
3. Full consideration should be given to the previous history of development on this site.
4. The information regarding the levels and building heights may be incorrect. No information regarding the floor level of the proposed building has been submitted, and this would influence its overall height above the ground. The difference in the levels may be less than the applicants have suggested.
5. An ecological survey of the site should be undertaken due to the naturalised state of the land and the knowledge that bats, nesting birds and newts are in the area. English Nature should be consulted.
6. The application should be considered by the Development Management Panel.
7. The development would be contrary to the provisions of the Conservation Area Character Statement, which eulogises over the importance of the character of Church Green to the conservation area and states that the biggest threat to the area is the erosion of the spaciousness by infill development. This will harm the open views and the sense of spaciousness.
8. The proposal would be contrary to the comments made by the Inspector when dismissing the appeal in 2000 for the erection of three dwellings. In his decision letter, he referred to the importance of gardens to the setting of listed buildings, and concluded that the gardens in this instance were an integral part of their setting. The proposed development would have an adverse impact on this setting. The situation has not changed since 2000.
9. The proposal is contrary to the provisions of PPS5 in regard to the advice it gives to the consideration of applications which have an effect on the setting of listed buildings.
10. The proposed building is inappropriate when judged against the scale of the adjacent listed buildings. The majority of dwellings on Church Green would not have had outbuildings and it is unreasonable to suggest that the proposed building should be considered in this context.
11. The proposal does not respect or reflect the adjacent stable building. The development would not make a positive contribution to the character and local distinctiveness of the historic environment.
12. The impact of the development would be exacerbated by the possibility of domestic buildings (sheds/greenhouses), children's play equipment etc.
13. The internal layout of the bungalow is not workable. This may lead to pressure for extensions and other alterations to the building. This would increase the impact of the development on the character of the conservation area.

14. The tree survey does not reflect the full extent of the trees on the site.

15. The development would result in the loss of views from the properties in Tower Close.

16. The loss of the trees would adversely affect the birds which live around the site.

## **7 SUMMARY OF ISSUES**

7.1 The issues in this case relate to the principle of the development, its form, scale and massing and its effect on the character of the site and the conservation area including its nature conservation value, and the setting of the adjacent listed buildings, the impact on neighbours and the highway issues.

7.2 The principle of the development

7.3 This site is within the built up area of Ramsey. Policy CS3 of the adopted Core Strategy defines Ramsey as a market town wherein development schemes of all scales may be appropriate within the built up area. The proposed development of the land would make more efficient use of it in accordance with policy H1, although it should be noted that this policy requires the nature of the development site, and the character of the surrounding development to be taken into account when optimising the density of any proposals for housing development. However, in principle, the development of this land for residential purposes would be acceptable, but there are other factors which need to be given significant weight, notably the consideration of the next issue.

7.4 The use of this site for housing development is acceptable in principle, and is consistent with policies CS3, E2 and H1.

7.5 The scale form and massing of the development and its impact on the character of the conservation area.

7.6 The last application for the development of this site was submitted in 2000, and was for the erection of three houses. Planning permission was refused and the subsequent appeal was dismissed. In his decision letter, the Inspector identified the main issues as the effect of the development on the character and appearance of the Ramsey conservation area with particular reference to the setting of the nearby listed buildings. It should be noted however that this proposal was for the erection of three detached two storey dwellings set towards the rear of the site and occupying a substantial proportion of the width of the site. The present application is for a single storey building, set on the road frontage and occupying 50% of the plot width. The dwellings in Tower Close were under construction at the time. The Inspector emphasised the importance of maintaining the setting of the listed buildings but noted that the dwellings under construction were further away than the ones being proposed, and would have much less of an impact on the setting of the listed buildings and the character of the conservation area in general. In his view, the location of the conservation boundary (along the northern edge of the application site) was a logical one dividing the gardens which provide a setting for the buildings on Church Green from the development to the north, which was of a very different character. The erection of the three houses

would blur this distinction. He considered that the gardens of the listed building to be an integral part of their setting, the importance of which is not determined by whether or not views of them are open to the general public.

- 7.7 This proposal has been the subject of lengthy discussions with officers and a number of more extensive schemes were rejected as being inappropriate for a site within the conservation area and adjoining a number of listed buildings. The importance of these gardens in preserving the setting of the listed buildings is acknowledged, but they have been split from their parent buildings and the land now has the appearance of a separate plot. The form and scale of the proposal has been reduced significantly from the previous scheme and the development clearly reflects the bulk and massing of the adjoining single storey building. The proposed building will be set well forward in the site, leaving the land between it and the listed building undeveloped. However, should the development proceed, this land will be subject to the usual domestication associated with any dwelling although the erection of small ancillary structures and similar buildings could be controlled by the removal of permitted development rights. In this respect, the use of the rear of the site, and its consequential appearance, is possibly little different than it would have been if it had been retained by the original properties and used for domestic activities.
- 7.8 Given the much reduced scale of the development, and its location along the frontage of the site, it is considered that the proposal will not have a significant impact on the setting of the adjoining listed buildings. Whilst any structure in this location will have some effect, this is not now judged to be sufficient to justify a refusal. The building will be visible from the properties on Church Green, and through the gaps between them. However it will be seen in the context of the larger, two storeys properties in Tower Close, which have already had a substantial effect on views from Church Green. In this respect, it is considered that the proposal will not have a significant impact on views into and out of the conservation area. The erection of any building on this site will have some impact on the contribution the gardens make to the character and appearance of the conservation area at this point, but the limited height of the structure will ensure that the building is not an over-dominant feature in the street scene, and the sense of openness will be maintained firstly by the limited height of the structure and, secondly, by the fact that it will only take 50% of the site frontage. Views into the site will still be possible through and over the post and rail fence at one end of the building and the field gate at the other.
- 7.9 The design, scale and massing of the building reflects that of the adjacent outbuilding, and openings in the northern elevation of the proposal (to Tower Close) have been eliminated in order to retain the simple form and appearance of an outbuilding. Fenestration is confined to the southern and western elevations of the building where it cannot be generally seen from a public viewpoint. This does not disguise the fact that the building is ultimately domestic in its use and nature, but it will reduce its effect on the character and appearance of the conservation area. High quality materials will be required, including those used to surface the access and the parking area. These can be required by condition.

- 7.10 Since the use of the land as domestic gardens ceased, Nature has started to reclaim it and parts of it are now covered with brambles and other plant species found on derelict sites. The lack of standing water on the site would suggest that newts are unlikely to be present – the nearest water being the pond at one end of Church Green. However, this water is constantly turbid and appears to be an unattractive site for newts. The use of the site by bats for foraging is possible but there is nowhere on the land where they could roost. The site has not been identified as a site for protected species. The trees being removed are of no particular merit and their loss would not prejudice the overall appearance of the site or the conservation area.
- 7.11 On balance, it is considered that the proposed scheme is acceptable, and will not have a significant impact on the general character of the conservation area, the setting of the adjacent listed buildings or nature conservation value of the land. The proposal does not conflict with policies ENV7, H31, H32, H33, En2, En5, En6, En9, En14, En18, En22, En25, E1, E3, E4, E5 and E7.
- 7.12 The effect on neighbours.
- 7.13 The development of this site with the consequential increase in domestic activity and traffic will generate a degree of noise and disturbance which will impinge on the amenities of the immediate neighbours. However, it is considered that the level of activity likely from a single property will not be high and that this should not result in a degree of nuisance that would justify a refusal. The development will not cause any overshadowing of the adjoining properties and any overlooking will from ground floor windows only and will be screened by the boundary fences.
- 7.14 The development will not result in an undue loss of amenity to the immediate neighbours, and does not conflict with policies H31 and H7.
- 7.15 Highway issues
- Two parking spaces are to be provided within the curtilage of the site, and there will be a wide access from Tower Close. Turning space will also be provided within the site. The amount of traffic generated by the proposal will be small and Tower Close is not a heavily used road. It is considered that the development will not give rise to any significant highway issues and that the parking provision meets the requirements of appendix 1 and policy E10 of the DMDPD, and policy H31 of the Local Plan 1995.
- 7.16 Other issues.
- 7.17 The principal issues have been considered above, and comment on the majority of the concerns expressed by the neighbours. In respect of the other points raised by the neighbours, the following comments can be made:-
- 7.18 The loss of view is not a material planning consideration. The level of the proposed dwelling can be required by condition. The internal layout of the building is not a material planning consideration. Extensions and other additions to the building can be controlled by the removal of permitted development rights.

7.19 The applicant is aware of the MLC comments and is seeking clarification on the issues raised. Any further comments will be reported at the meeting. However, there are no known surface water drainage problems in the area, and there is no reason to suspect that a suitable drainage scheme for this development cannot be designed and implemented. It is considered that the disposal of surface water is not an overriding issue in this case.

7.20 Conclusions

1. The erection of a dwelling on this site is acceptable in principle and consistent with the settlement policy for Ramsey.
2. The proposal will not have a significant effect on the character of the conservation area or the setting of the adjacent listed buildings.
3. The loss of the trees is acceptable and the development of the site could not be refused on the grounds of loss of habitat.
4. The development will not have a significant impact on the amenities of the immediate neighbours.
5. There are no overriding highway issues.
6. There are no other material planning considerations which have a significant impact on the determination of this planning application.

7.21 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is considered that planning permission should be granted in this instance.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**8. RECOMMENDATION - APPROVE** subject to conditions to include the following:

- |                 |  |
|-----------------|--|
| <b>02003</b>    | Time Limit (3yrs)                      |
| <b>05001</b>    | Buildings                              |
| <b>17001</b>    | Levels Building/Site                   |
| <b>03022</b>    | Parking                                |
| <b>06010</b>    | Landscape design (delete)              |
| <b>06011</b>    | Soft landscape (delete)                |
| <b>06012</b>    | Hard and soft landscape implementation |
| <b>Nonstand</b> | various details                        |
| <b>Nonstand</b> | pd restriction                         |

**CONTACT OFFICER:**Enquiries about this report to David Hincks  
Development Management Officer 01480 388406





Pathfinder House, St Mary's Street  
Huntingdon. PE29 3TN  
mail@huntsdc.gov.uk

Tel: 01480 388388  
Fax: 01480 388099  
www.huntingdonshire.gov.uk

Head of Planning Services  
Pathfinder House  
St. Mary's Street  
Huntingdon  
Cambridgeshire PE 29 3TN

Application Number: 1102068FUL Case Officer David Hincks

Proposal: **New single storey dwelling**

Location: **Land Opposite 11 To 17 Tower Close Ramsey**

Observations of Ramsey Town/Parish Council.

Please ✓ box as appropriate

Recommend **approval** because ..... (please give relevant planning reasons in space below)

Recommend **refusal** because... (please give relevant planning reasons in space below)

*Unanimous agreement that not in keeping  
with existing street scene.*

No observations either in favour or against the proposal

*[Signature]* ..... Clerk to Ramsey Town/Parish Council.

Date : *10/2/12*

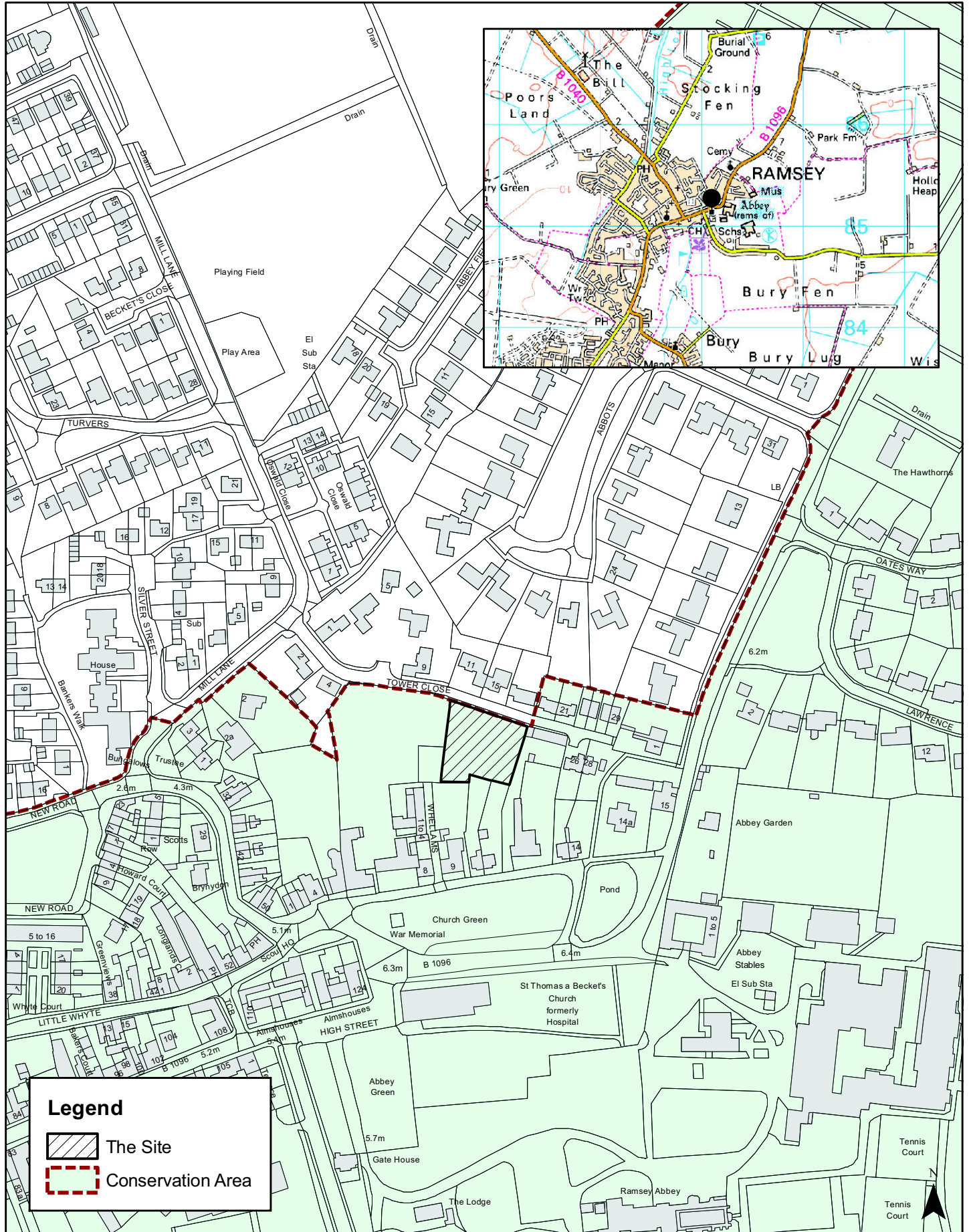
Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

# Development Management Panel

Application Ref: 1102068FUL

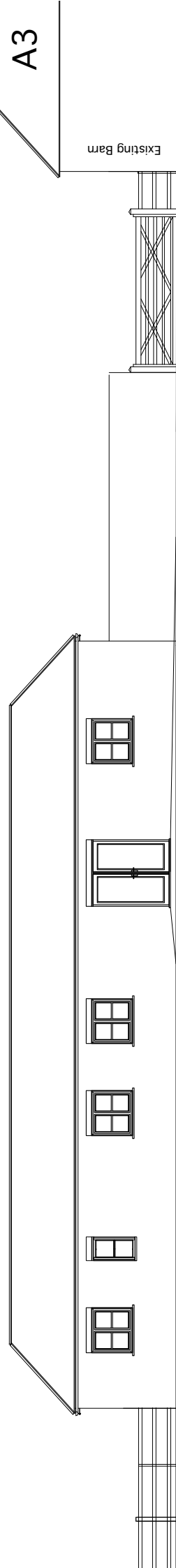
Location: Ramsey

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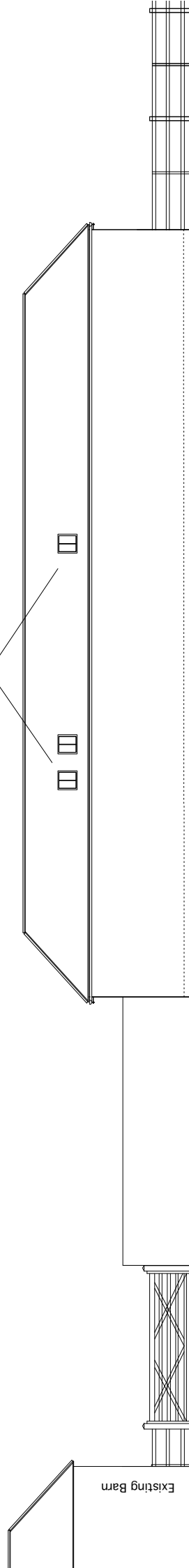
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Existing Barn

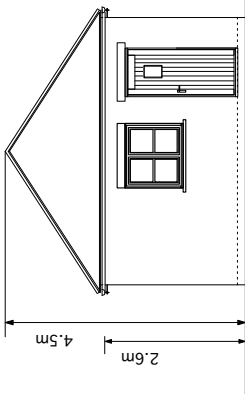


Rear Elevation (South)

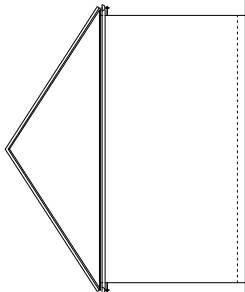
Velux or other Conservation rooflights (550mm x 880mm)



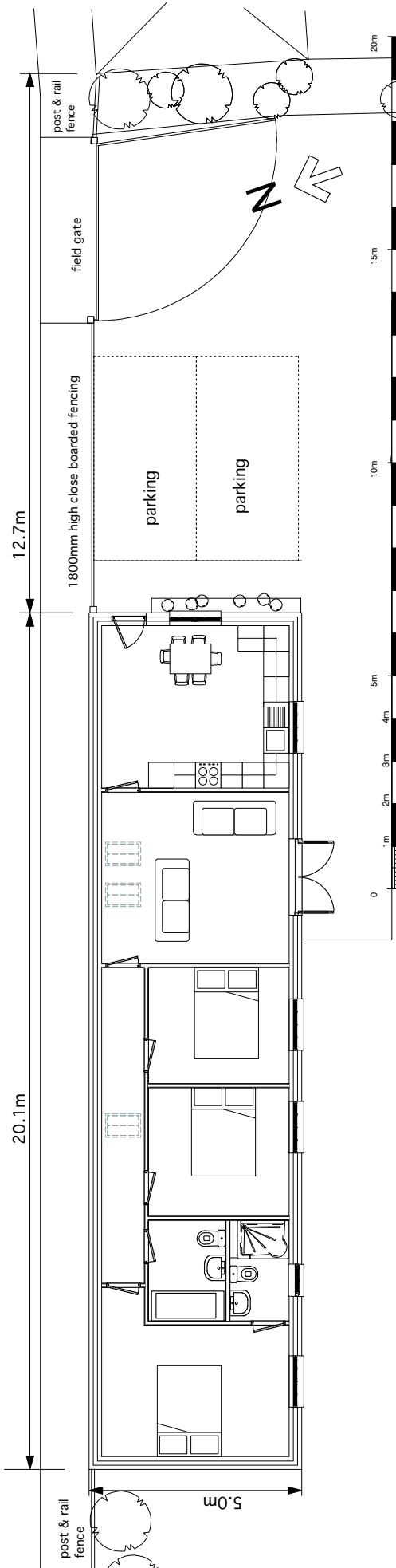
Tower Close Elevation (North)



West Elevation



East Elevation



Proposed new  
single storey awelling  
Tower Close  
Ramsey

Drawing Title  
Plan & elevations

Drawing Status  
Planning

Scale 1=100

Revision B - 21 March 2012

NICK BACON, BA, BARCH  
**ARCHITECTURE**  
& DESIGN

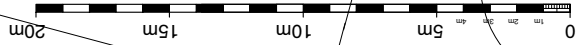
DARKER NOOK FARM  
COLSTON LANE, HARRY  
LEICESTERSHIRE, LE14 4BE

T: 07105 758 2052  
E: nick@nigbaleigh.com.co.uk

Rev A. 9 Jan 2012. Dimensions added.

Rev B. 21 Mar 2012. Door and windows on West elevation. Windows on East elevation changed to clerestory. Conservation rooflights added to roof facing Tower Close. Position of kitchen and sitting room swapped.

A3



3487-7  
529133.456E  
285281.537N  
5.535EI



Proposed new  
single storey dwelling  
Tower Close  
Ramsey

Drawing Title  
Site Plan

Drawing Status  
Planning

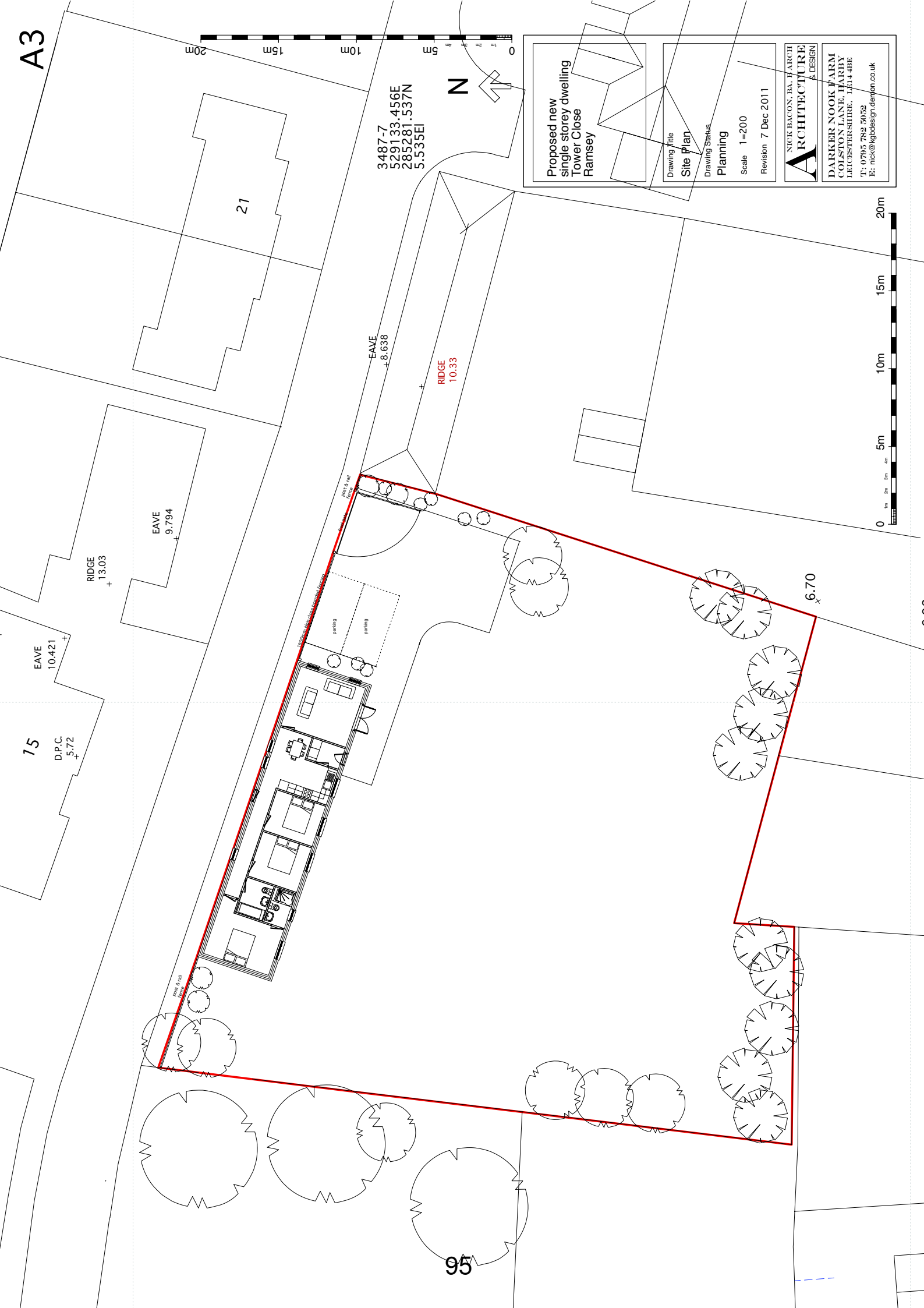
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Revision 7 Dec 2011

NICK BACON, BA, FARCH  
**ARCHITECTURE**  
& DESIGN

DARKER NOOK FARM  
COLSON LANE, RAMSEY  
LEICESTERSHIRE, LE14 4BB

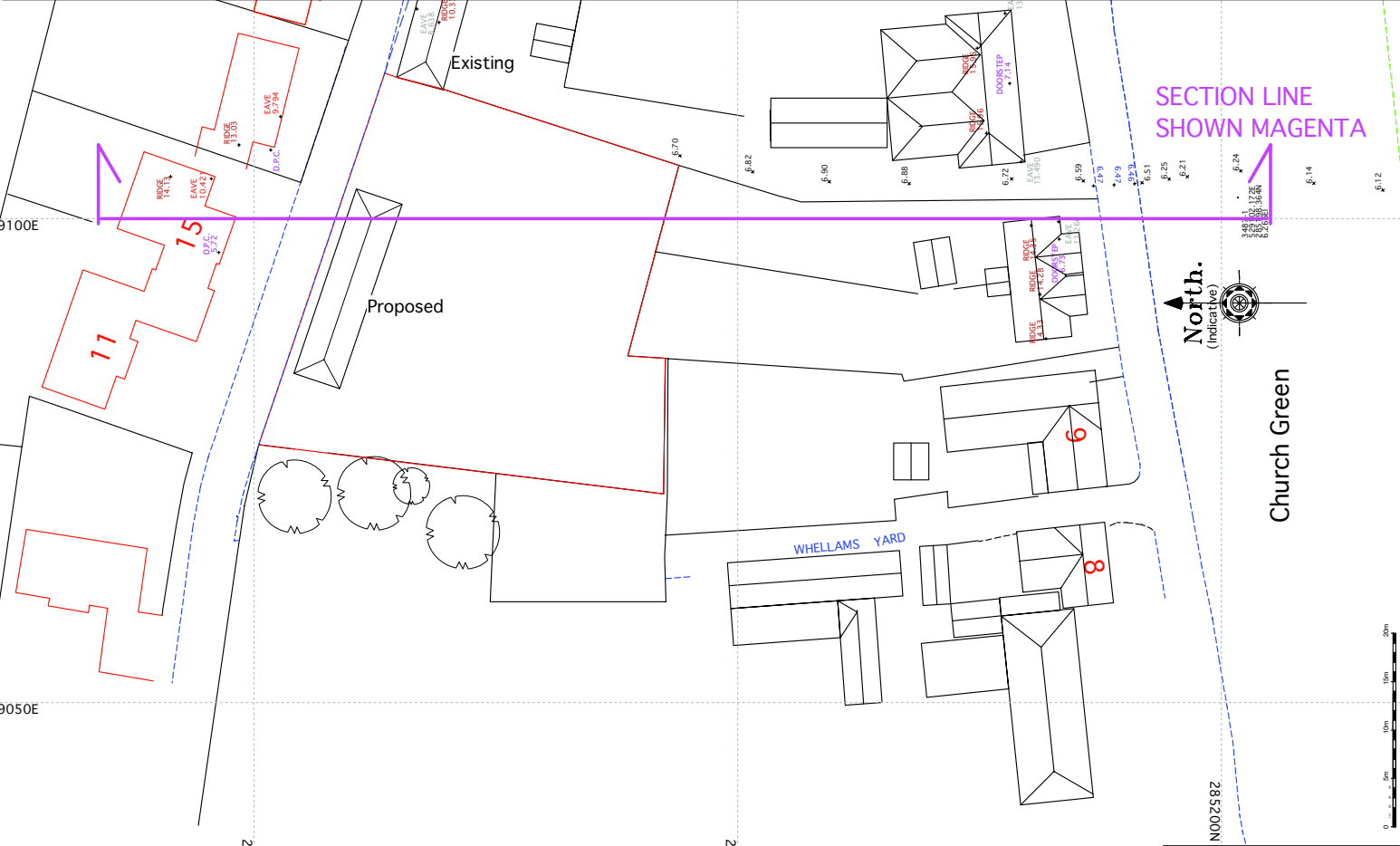
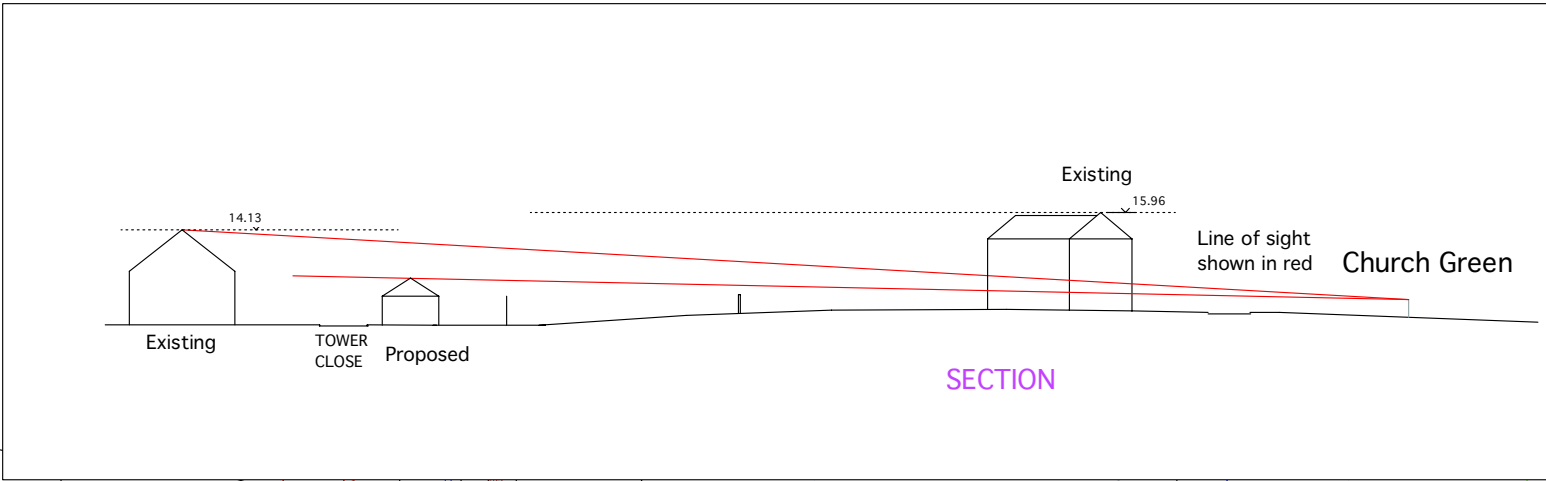
T: 0795 782 5052  
E: nick@kgbdesign.demion.co.uk



75

21

95



Proposed new single storey dwelling Tower Close Ramsey

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Drawing Title  
**Section**

Drawing Status  
**Planning**

Scale 1=500

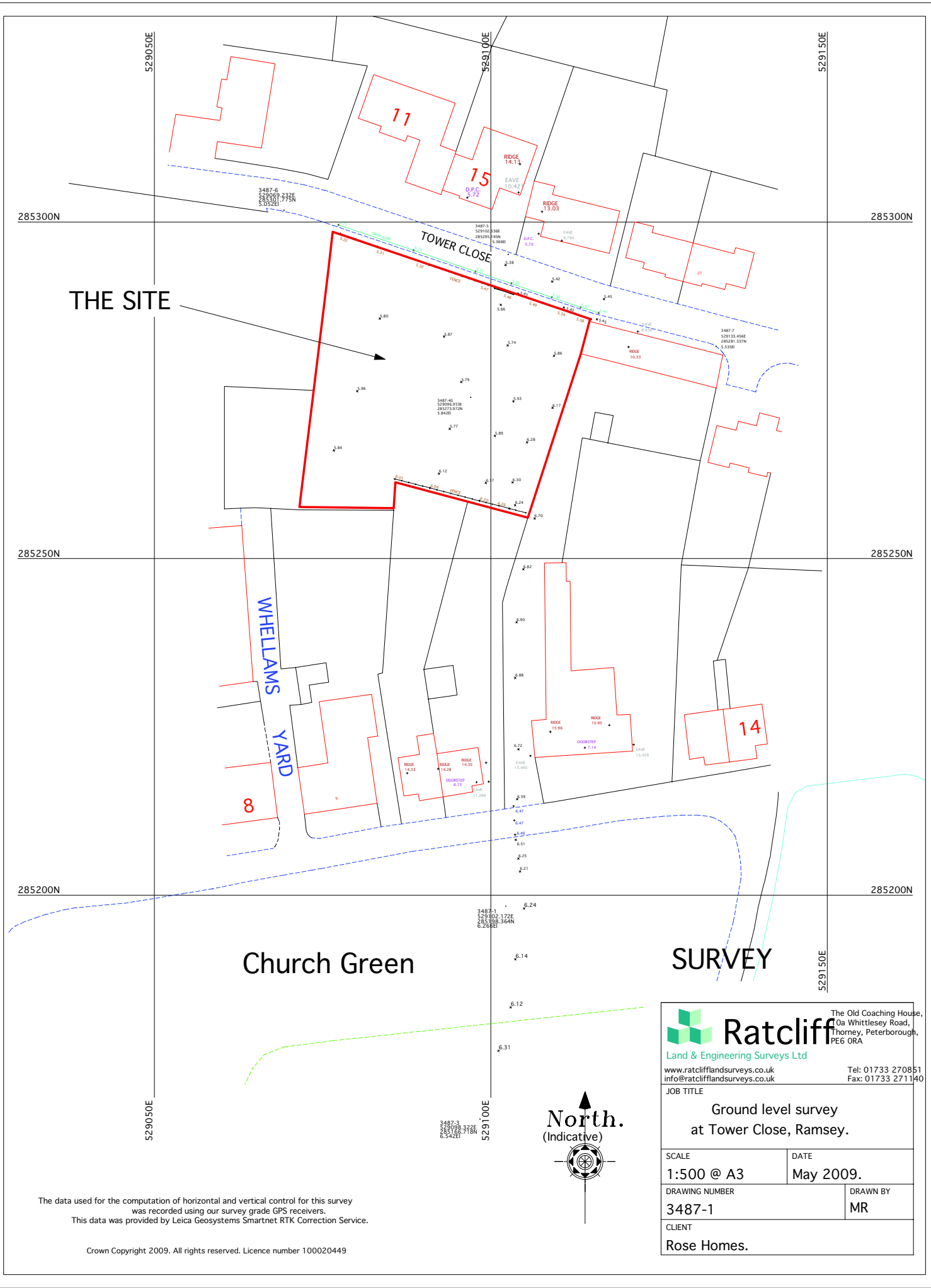
Revision 7 Dec 2011

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**NICK BACON, BA, B ARCH**  
**ARCHITECTURE & DESIGN**

**DARKER NOOK FARM**  
COLSTON LANE, HARBY  
LEICESTERSHIRE, LE14 4BE  
T: 0795 782 5052  
E: nick@kgbdesign.demon.co.uk






THE SITE

Church Green

SURVEY


 The Old Coaching House,  
 10a Whittlesey Road,  
 Thorney, Peterborough,  
 PE6 0RA  
 www.ratcliffandsurveys.co.uk Tel: 01733 270851  
 info@ratcliffandsurveys.co.uk Fax: 01733 271140

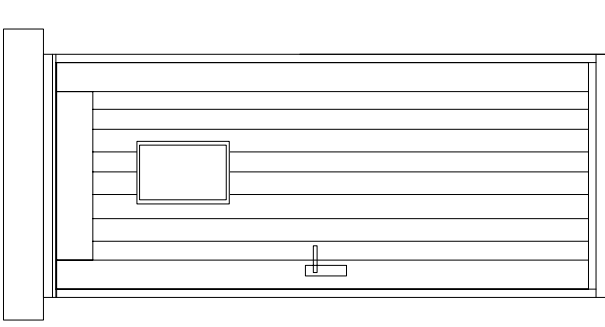
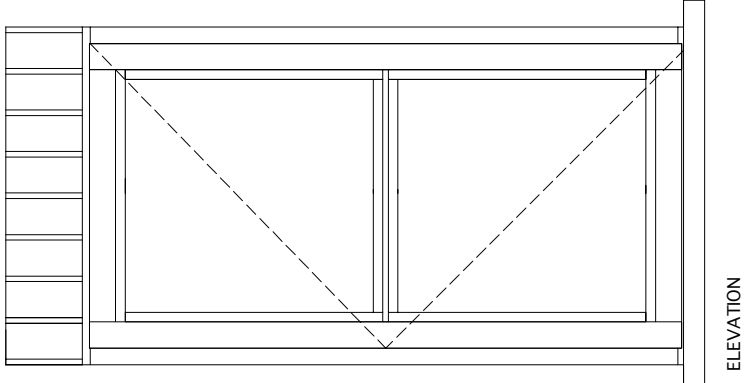
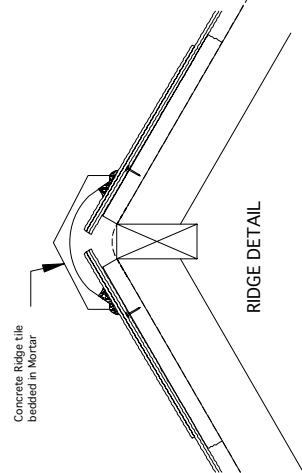
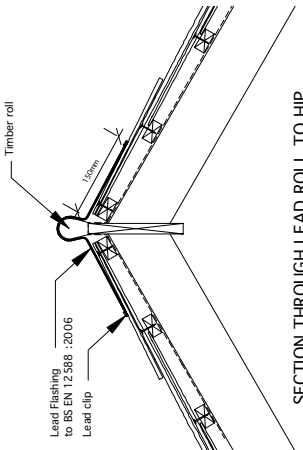
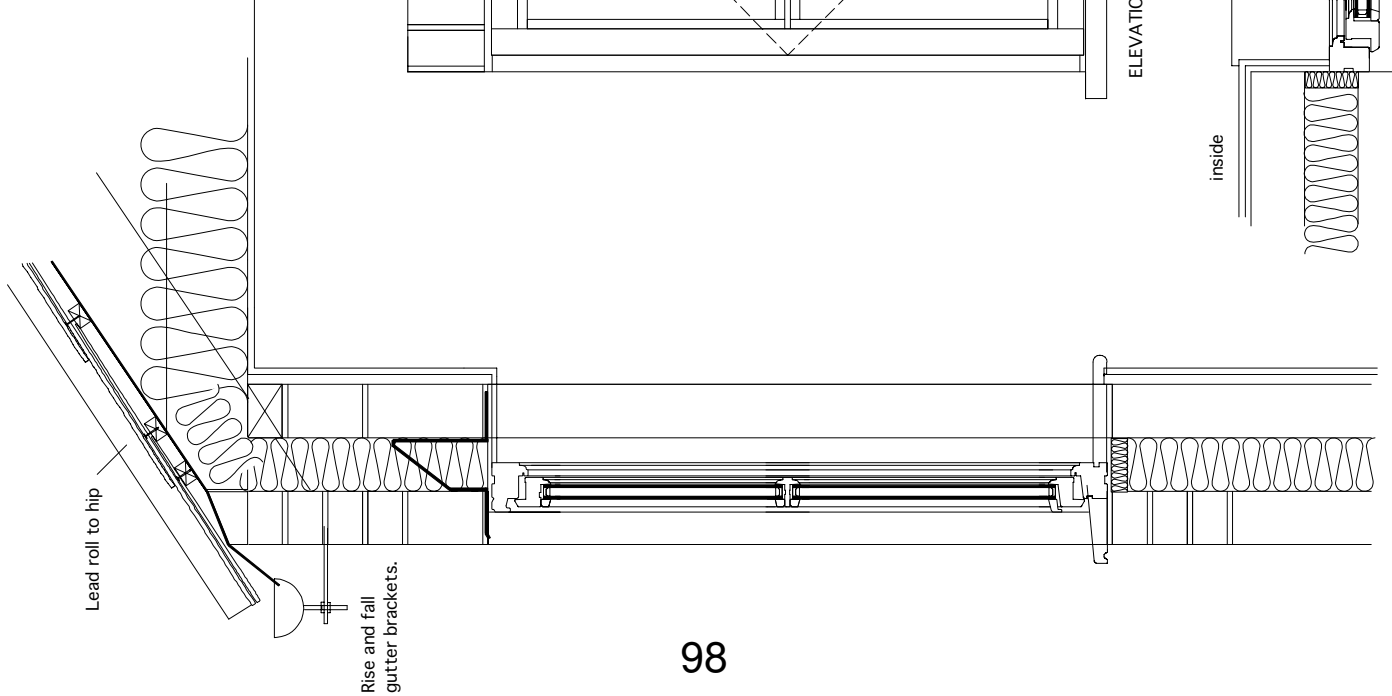
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Ground level survey  
at Tower Close, Ramsey.

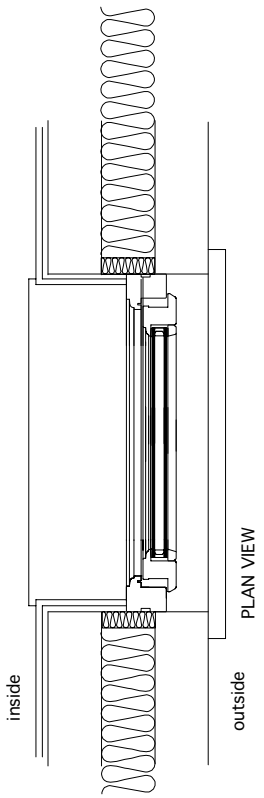
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DRAWING NUMBER	DRAWN BY
3487-1	MR
CLIENT	
Rose Homes.	

The data used for the computation of horizontal and vertical control for this survey was recorded using our survey grade GPS receivers. This data was provided by Leica Geosystems Smartnet RTK Correction Service.

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TIMBER DOOR TO TOWER CLOSE ELEVATION  
Scale 1=20



SECTION THROUGH WINDOW AND EAVES



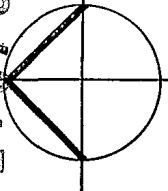
Proposed new  
single storey dwelling  
Tower Close  
Ramsey

Drawing Title  
Window, eaves, roof  
and door details  
Drawing Status  
Planning  
Scale 1=10 except where  
indicated otherwise  
Revision 7 Dec 2011

NICK BRAGGON, BA, B.A. ARCHIT  
**ARCHITECTURE**  
& DESIGN  
DARKER NOOK FARM  
COLLETON LANE, HARBY  
LEICESTERSHIRE, LE14 4BE  
T: 0795 782 5652  
E: nick@kgtdesign.demon.co.uk

**GREEN PAPERS FOLLOW**

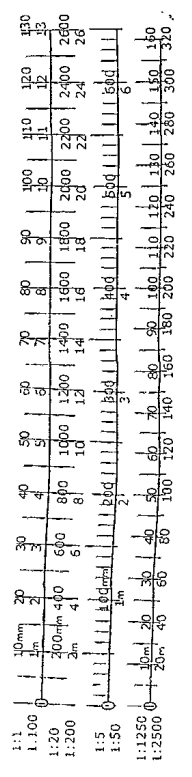
H00278/00



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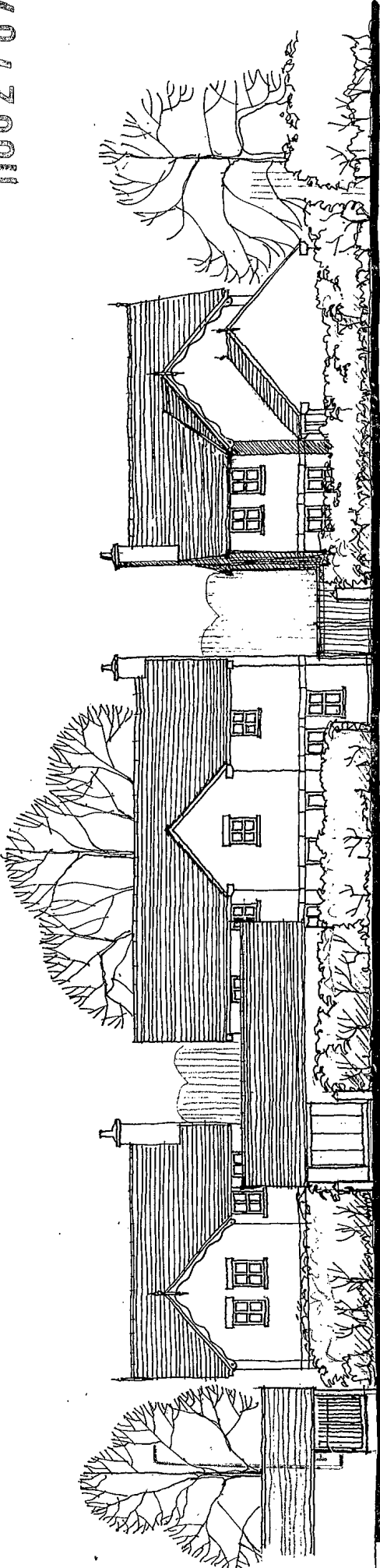
LAND OFF MILL LANE  
RAMSEY  
PLOT 18 - 20  
LAYOUT

**JOHN MARTIN**  
AND ASSOCIATES  
REGISTERED SURVEYORS AND TOWNPLANNERS - PLANNING AND DEVELOPMENT CONSULTANTS  
TELEPHONE: 01480 430036 FACSIMILE: 01480 430036  
FARM HALL OFFICES WEST STREET, GODMANCHESTER  
HUNTINGDON, CAMBRIDGESHIRE, PE18 8HG



FROM CAMBRIDGESHIRE DISTRICT COUNCIL  
APPLICATION NO. 00278/00  
DATED 11/10  
SIGNED  
FEB 2000

100278/00



Plot 18

Plot 19

Plot 20

STREET ELEVATION

HUNTINGDONSHIRE DISTRICT COUNCIL  
 OPERATIONAL CONTROL  
 17 FEB 2000  
 REF

HUNTINGDONSHIRE DISTRICT COUNCIL  
 100278/00  
 17 FEB 2000  
 1114100  
 DATED  
 SIGNED  
 Head of Planning

**JOHN MARTIN**  
 ASSOCIATES

CHARTERED SURVEYORS AND TOWN PLANNERS - PLANNING AND DEVELOPMENT CONSULTANTS  
 TELEPHONE 01480 450606 FACSIMILE 01480 450606

FARM HALL OFFICES WEST STREET GODMANCHESTER  
 HUNTINGDON, CAMBRIDGESHIRE PE18 8HG

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**LAND OFF MILL LANE  
 RAMSEY**

**PLOTS 18 - 20  
 STREET ELEVATION**

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SCALE, Not to Scale,  
 DATE, FEB 2000  
 DRAWN, KM

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DEVELOPMENT MANAGEMENT PANEL

16 April 2012

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**Case No:** 1200179S73 (RENEWAL OF CONSENT/VARY CONDITIONS)

**Proposal:** VARIATION OF CONDITION 1 OF PLANNING PERMISSION 11001875S73 TO EXTEND THE EXPIRY OF TEMPORARY USE UNTIL 28TH FEBRUARY 2014

**Location:** SPICELANDS, OLD GREAT NORTH ROAD,

**Applicant:** MR R UDDIN

**Grid Ref:** 518252 280438

**Date of Registration:** 14.02.2012

**Parish:** SAWTRY

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## RECOMMENDATION - APPROVE

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The site relates to a restaurant located to the east of the A1M and accessed from the B1043; to the north of the building is a large car park. Within the immediate vicinity of the site is a residential property, petrol filling station and Motel. The site is located within the open countryside.
- 1.2 Temporary permission was granted for the change of use of approximately 43 square metres of the existing restaurant building to provide overnight staff accommodation in February 2009; this has subsequently been renewed on two occasions amounting to a three year temporary permission.
- 1.3 This application seeks to vary condition one (temporary time period) to allow the staff to remain living onsite until 28th February 2014.
- 1.4 The temporary permissions have been granted as the premises is remote and the restaurant requires numbers of staff to remain late at night to clear up after the closing of the restaurant; as a result, staff find it difficult to return to their homes given the time of night.
- 1.5 The change of use covers two rooms which accommodates approximately 6-8 staff members and is served by a shower/toilet separate from the restaurant facilities. An additional small room is used as staff storage/changing.
- 1.6 This application is reported to Members for determination in line with the Scheme of Delegation as the previous three temporary permissions have been granted under Delegated Powers, contrary to the Parish Council's recommendation of refusal. The first two applications were recommended for refusal by the Parish Council due to concerns over drainage and sewage issues, and the latter

permission as the temporary use should be resolved and concerns were raised that the site was used for permanent rather than temporary overnight accommodation.

## 2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

## 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

- 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents
- **SS1:** "Achieving Sustainable Development" – the strategy seeks to bring about sustainable development by applying: the guiding principles of the UK Sustainable Development Strategy 2005 and the elements contributing to the creation of sustainable communities described in Sustainable Communities: Homes for All.
- 3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.
- None relevant.
- 3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **E7:** The establishment and expansion of small businesses will normally be supported subject to traffic and environmental considerations.
- 3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)
- None relevant.
- 3.5 Policies from the Huntingdonshire Local Development Framework Approved Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning and then click on Planning Policy where there is a link to the Local Development Framework Core Strategy.
- **CS1:** "Sustainable development in Huntingdonshire" – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development.
- 3.6 Policies from the Huntingdonshire LDF Development Management DPD: Proposed Submission 2010 are relevant
- **C1:** "Sustainable Design" – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.
  - **H7:** "Amenity" – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

#### 4. **PLANNING HISTORY**

- 4.1 7700024OUT – Restaurant, shop and parking – permission GRANTED
- 4.2 8000705FUL – Motorway restaurant shop parking etc – permission GRANTED
- 4.3 8401079FUL – Alterations to restaurant – permission GRANTED
- 4.4 0802962FUL – Retention of storage building – permission REFUSED, subsequently ALLOWED AT APPEAL.
- 4.5 0802970FUL – Change of use of part of restaurant to provide overnight staff sleeping accommodation – permission GRANTED
- 4.6 0901434S73 – Variation of condition 1 of planning permission 0802970FUL to: the use of the rooms for overnight accommodation shall be for a temporary period expiring on the 28th February 2012 - permission GRANTED but restricted to one year, expiring on 28th February 2011.



- 4.7 1001719FUL – Installation of underground package sewage treatment plant to replace unsatisfactory septic tank drainage system – permission GRANTED
- 4.8 1100187S73 - Variation of condition 1 of planning permission 0901434S73 to extend the expiry of the temporary use - permission GRANTED but restricted to 11 months, expiring on 29th February 2012.
- 4.9 1100091ENBOC – Breach of condition as site appears to be used as permanent accommodation – FILE CLOSED as address and tax records were provided for employees giving alternative, permanent addresses.

## 5. CONSULTATIONS

- 5.1 **Sawtry Parish Council recommends REFUSAL** – has been temporary for too long; either apply for permanent accommodation or arrange transport home for employees after shifts (copy attached).

## 6. REPRESENTATIONS

- 6.1 No comments received within the consultation period.

## 7. SUMMARY OF ISSUES

- 7.1 The main issues to consider with this application are the principle of the development and the impacts upon the residential amenity of adjacent properties.
- 7.2 The proposal does not significantly affect the external appearance of the building and therefore the character and appearance of the area is not considered to be harmed as a result of the change of use.

### Principle of Development

- 7.3 The supporting letter with this application advises that the restaurant has twelve members of staff who each work Saturday and then work on a rota of two days on and one day off; generally this results in eight members of staff during the week. It continues that the hours of operation advertised are 12.00-15.00 and 17.30-23.00, although if they are still eating, customers can remain longer. Preparation and clearing up is usually an hour before opening and after closing.
- 7.4 The Agent has confirmed that the staff live in London and travel to work via the train to Huntingdon and then car or taxi to the restaurant. He advises the last train leaves Huntingdon at 22.44 which is before the restaurant closes.
- 7.5 The building is located within the open countryside and sited away from residential settlements with Woodwalton, Sawtry and Alconbury Weston approximately two to three miles from the application site. As such, it is considered that the application site is located in an unsustainable location.

- 7.6 Development within the countryside is generally resisted unless it is for an essential use; the principle of overnight accommodation therefore requires specific justification.
- 7.7 In this particularly instance, the restaurant use in an unsustainable location has been established and therefore provision of overnight accommodation does contribute to sustainability goals as the staff are required to travel to the site by private vehicles and if they are to be working the early shift in the restaurant also, the overnight accommodation will result in less vehicle movements. The current train times found online show the last train to leave Huntingdon at 22.44 weekdays and slightly later at weekends (23.00 on Saturday evening and 23.15 on Sunday evening); trains from Peterborough have also been checked with the last weekday train at 23.40, 22.46 on Saturday and 23.01 on Sunday. These are still acknowledged as not being appropriate around the restaurant opening hours.
- 7.8 Given this, the proposal conforms to national and local sustainable development policies.
- 7.9 The application seeks a further temporary period of two years, this is considered acceptable and as this is the time period sought, is the maximum which permission can be granted for.
- 7.10 The comments of the Parish Council regarding the temporary use being granted for too long are noted. The Agent has confirmed that the owner is looking into more permanent accommodation options including properties in either St Ives or Huntingdon, or a purpose built building on site. The application under consideration now is however for a renewal of the temporary permission and not an alternative, permanent solution; any future application would be assessed on its own merits at the time of an application if submitted.

### **Residential Amenity**

- 7.11 As with the original application, it is accepted that the staff area is sited within the building close to the boundary with the neighbouring residential property and may result in some additional movement, however it also removes the noise of some staff leaving the site late at night.
- 7.12 It is therefore considered that on balance, the provision of overnight accommodation is not significantly harmful to the residential amenity of neighbours.

### **Conclusion**

- 7.13 The proposed development is considered to be compliant with the relevant national and local policy as:  
\* The principle of development is accepted;  
\* Would not have a significant detrimental impact upon the amenity of neighbours.
- 7.14 Taking national and local planning policies into account, and having regard for all relevant material considerations, it is recommended that planning permission be granted, subject to the imposition of appropriate conditions.

8. **RECOMMENDATION** - **APPROVE** subject to conditions to include the following:

**Nonstand** Temporary permission with the overnight accommodation use expiring within 2 years.

**Nonstand** The overnight accommodation used solely for members of staff employed in the associated restaurant and at no time be used as a permanent place of residence.

**CONTACT OFFICER:**

Enquiries about this report to **Ms Charlotte Fox Assistant Development Management Officer 01480 388457**

**Parker-Seale, Debra (Planning)**

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**From:** Diane Davis - Sawtry Parish Council [clerk@sawtry-pc.gov.uk]  
**Sent:** 15 March 2012 13:34  
**To:** DevelopmentControl  
**Subject:** Comments on applications

Dear Sirs

Please find below the comments of Sawtry Parish Council Planning Committee on the following applications:

1200082FUL – 5 St Judith's Lane – demolition of existing porch and replace with larger porch extension

**Recommend approval** – an improvement to the village scene

1200179S73 – Spicelands, Old Great North Road – variation of condition 1 of planning permission  
 11001875S73 to extend the expiry of temporary use until Feb 28<sup>th</sup> 2014

**Recommend refusal** – has been temporary for too long – either apply for permanent accommodation or arrange transport home for employees after shifts

1200159FUL – Land west of 21 Windsor Road – erection of Primary Healthcare facility as required by unilateral undertaking which formed part of outline planning permission

**Recommend refusal** – access should be from the development site not via an already congested cul de sac, insufficient car parking on site

1200311TREE – Chesham House, 56 Green End Rd – felling and removal of one willow tree (NB Tree Preservation Order in place)

**Recommend refusal** – as tree closer to footpath than house, this would be affected first. It is very unwise to cut down a tree 'just in case' subsidence might occur. The tree has a preservation order on it, it is a very pretty tree and it enhances the street scene at the entrance to Rockingham Road. The removal of the tree could still result in subsidence of the property due to the way the ground reacts after removal.

1200182ADV – Pulse and Cocktails, Toll Bar Way – free standing totem sign and two entrance signs - It is noted that the only issues that can be addressed through planning are Highway safety and the effect on amenity. The proposed signs would conflict with the conditions of the license agreement and the Clerk was requested to write to the licensing department with the committee's concerns.

**Recommend refusal** – the additional signs would cause a distraction to motorists on the A1(M) and would affect highway safety. The site is outside of the 30mph limit of the village of Sawtry and as such is in a rural location. Additional signage would adversely affect the visual amenity of this rural area. Toll Bar Way is a popular route for walkers and forms part of several circular routes around the village, including a publicised walk to local woods. Due to the addition of the company name and description the signs would become advertising rather than directional signs.

Diane Davis  
 Clerk to the Council  
 Sawtry Parish Council

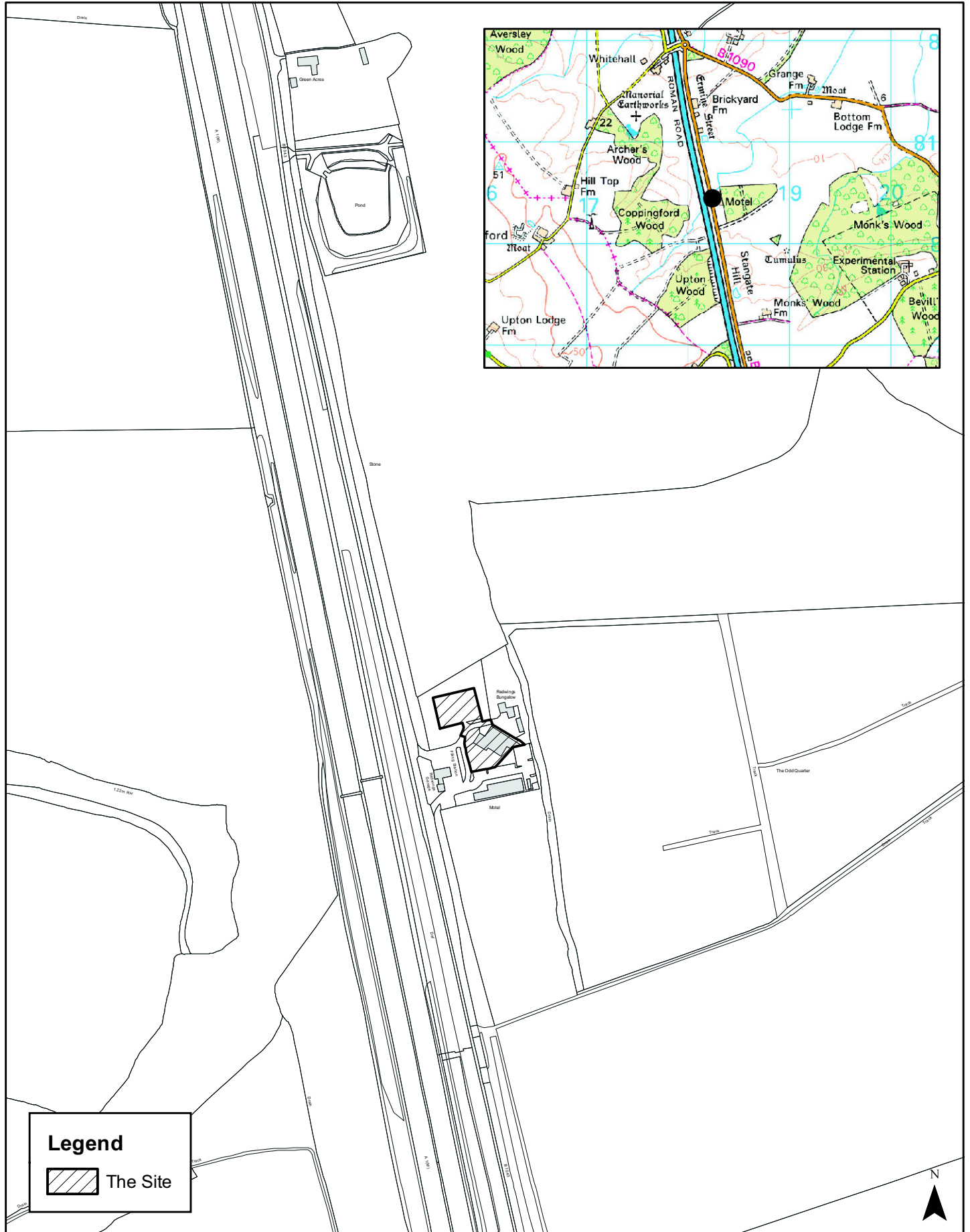


# Development Management Panel

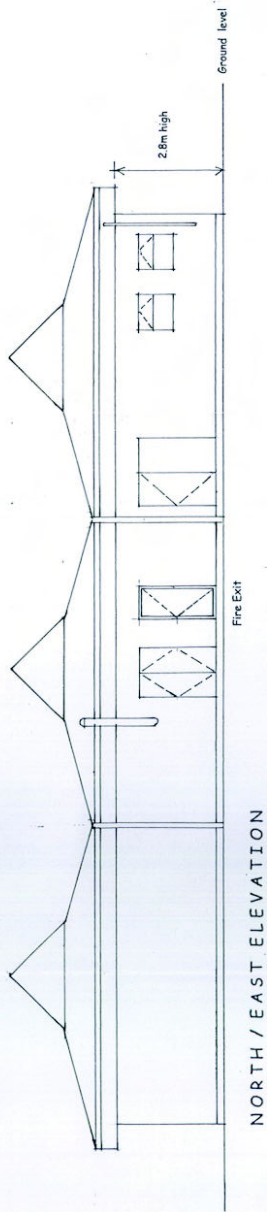
Application Ref: 1200179S73

Location: Sawtry

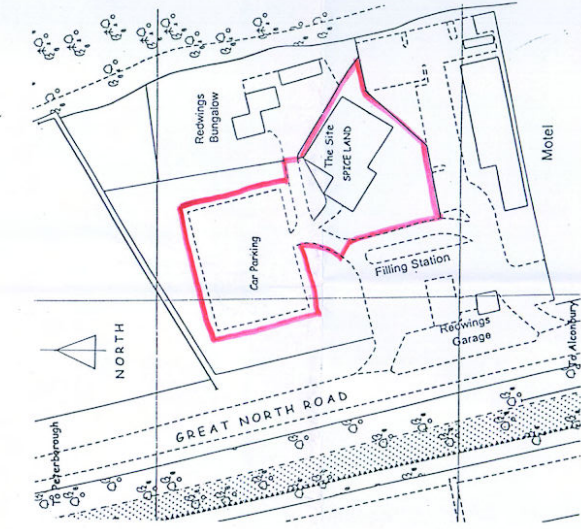
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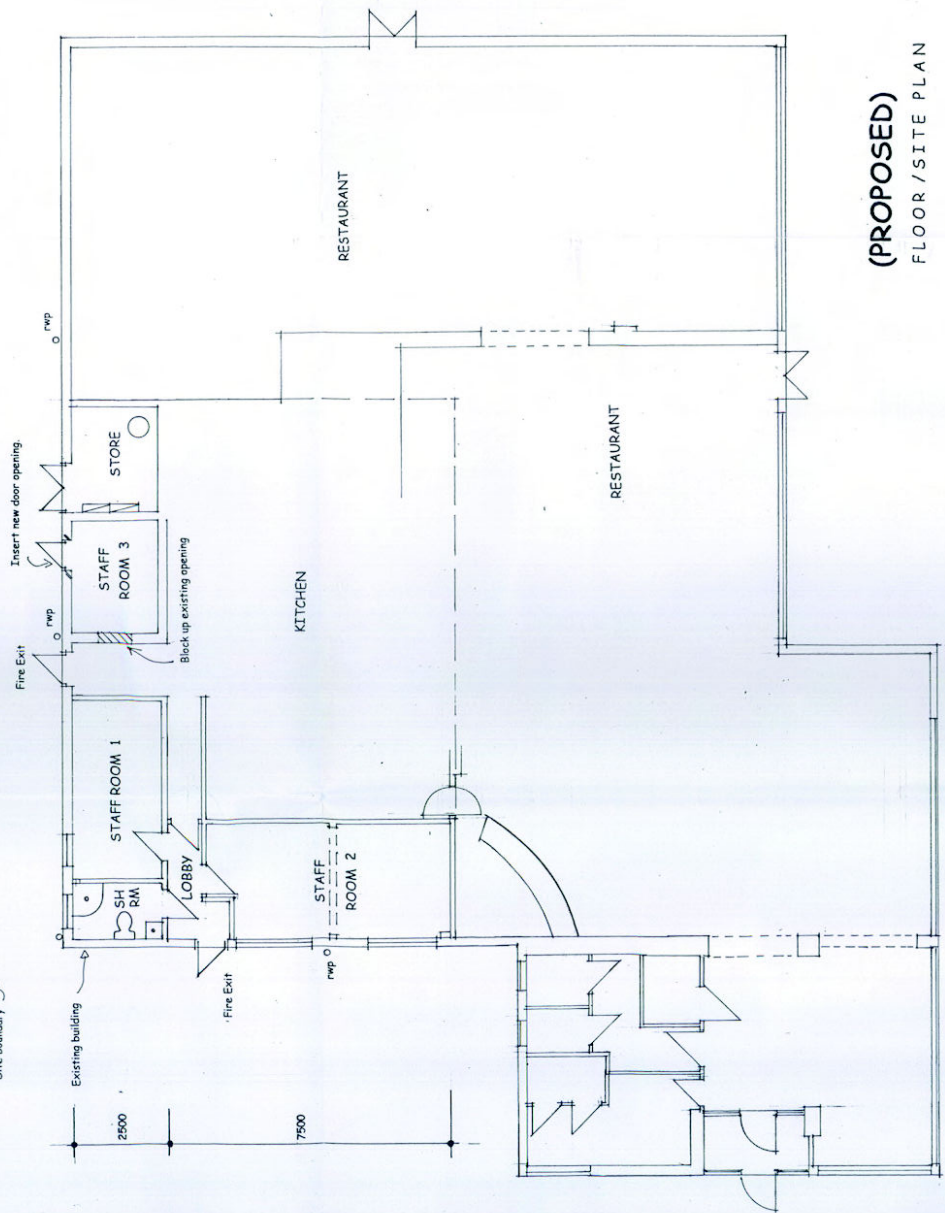
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NORTH / EAST ELEVATION



LOCATION PLAN 1/1250



(PROPOSED)  
FLOOR / SITE PLAN

1487/03  
SCALE: 1/100 DATE: OCT08  
GREAT NORTH ROAD, SAWTRY, MOUNTINGTON  
HEADLEY STOKES ASSOCIATES  
PROJECT MANAGERS: CAMS, P228, DXP  
ARCHITECTS AND PROJECT MANAGERS: CAMS, P228, DXP  
RESPONSIBLE ARCHITECT: CAMS, P228, DXP  
RESPONSIBLE PROJECT MANAGER: CAMS, P228, DXP  
23/04/11

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**Case No:** 1200159FUL (FULL PLANNING APPLICATION)

**Proposal:** ERECTION OF PRIMARY HEALTHCARE FACILITY AS REQUIRED BY UNILATERAL UNDERTAKING WHICH FORMED PART OF OUTLINE PLANNING PERMISSION

**Location:** LAND WEST OF 21 WINDSOR ROAD

**Applicant:** PERSIMMON HOMES (EM) AND BELLWAY HOMES (EM)

**Grid Ref:** 516512 283260

**Date of Registration:** 21.02.2012

**Parish:** SAWTRY

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## RECOMMENDATION - APPROVE

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site comprises currently undeveloped land to the west of Windsor Road. As detailed within the planning history section the site forms part of land which was granted outline planning permission in July 2009.
- 1.2 The proposal seeks full planning permission for the erection of a primary healthcare facility. As stated in the description this was a requirement of the Unilateral Undertaking proposed by the applicant during the consideration of the outline permission. The facility itself would comprise an 8.2m high two-storey building with 6 dedicated car parking spaces provided to the south. Provision is also made for cycle and bin storage.

### 2. NATIONAL GUIDANCE

- 2.1 National Planning Policy Framework (2012): sets out the Government's key economic, social and environmental objectives and the planning policies to deliver them. The intention is that these policies will provide local communities with the tools they need to energise their local economies, meet housing needs, plan for a low-carbon future and protect the environmental and cultural landscapes that they value. It seeks to free communities from unnecessarily prescriptive central government policies, empowering local councils to deliver innovative solutions that work for their local area.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.



### 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008). Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **T19:** "Pedestrian Routes and Footpath" – new developments are required to provide safe and convenient pedestrian routes having due regard to existing and planned footpath routes in the area.

- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.

- **CS5:** "Health and Social Services" – the development, improvement and extension of facilities for health and social care in the community will normally be permitted, subject to environmental and traffic considerations, and the supplanting of such facilities by other uses will generally be resisted.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

- None relevant.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntingdonshire.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** “Sustainable development in Huntingdonshire” – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development. Including reducing water consumption and wastage, minimising impact on water resources and water quality and managing flood risk.

- **CS2:** “Strategic Housing Development” – in the Key Service Centres (including Sawtry) about 250 homes will be provided. The provision will be made for housing in the general locations – including land to the west of Sawtry.

- **CS10:** “Contributions to Infrastructure Requirements” – proposals will be expected to provide or contribute towards the cost of providing infrastructure and of meeting social and environmental requirements, where these are necessary to make the development acceptable in planning terms.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **C1:** “Sustainable Design” – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.

- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.

- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development. Car free development or development proposals incorporating very limited car parking provision will be considered acceptable where there is clear justification for the level of provision proposed, having consideration for the current and proposed availability of alternative transport modes, highway safety, servicing requirements, the needs of potential users and the amenity of occupiers of nearby properties.

- **H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

- **D3:** “Community Facilities Contributions” – contributions will be required towards the provision, extension or improvement of

community facilities where necessary to promote the development of sustainable communities and mitigate the impacts of the development as identified through the Local Investment Framework.

Huntingdonshire Design Guide Supplementary Planning Document (2007)

#### **4. PLANNING HISTORY**

- 4.1 As noted previously the site forms part of the overall site which was allowed on appeal in July 2009. This related to the erection of 190 dwellings. During the consideration of the appeal a Unilateral Undertaking was submitted in order to address the concerns raised by the Council in relation to the under supply of health care provision post the residential development.
- 4.2 The appeal allowed an outline planning application with the access details committed. The access details approved relate solely to Gidding Road.
- 4.3 It should be noted that there is a current reserved matters application before the Council (reference 1100722 REM) for the erection of 190 dwellings on the site. The proposed facility would be developed alongside that site. Planning permission was also granted in 2011 for the construction of drainage infrastructure and newt mitigation in connection with the development.

#### **5. CONSULTATIONS**

- 5.1 **Sawtry Parish Council: Recommend refusal** – access should be from the development site not via an already congested cul-de-sac, insufficient car parking on site (COPY ATTACHED).
- 5.2 Cambridgeshire County Council Countryside Services: not yet received.

#### **6. REPRESENTATIONS**

- 6.1 1 letter of objection received from a resident of Maple Close stating concerns regarding vehicular access and drainage.

#### **7. SUMMARY OF ISSUES**

- 7.1 The main issues to consider in respect of this application are the principle of the use; the location of the development; design; impact upon residential amenity; impact on the public footpath; drainage and car parking.

##### **Principle of the Use**

- 7.2 As noted previously the requirement for this facility formed part of the Unilateral Undertaking submitted with regard to the outline planning permission. The Unilateral Undertaking requires that, amongst other things, if planning permission is granted the developer shall procure the construction of the facility prior to the occupation of the 16th residential unit. The fall back position for the applicant in the Undertaking allows for a contribution per dwelling to be paid.

- 7.3 The Undertaking includes a specification for the facility. Where relevant to the consideration of the planning application the facility appears to comply with the specification. Much of the specification though falls outside of planning control (such as the specification of internal walls). The health care providers have already advised the applicant that the facility is acceptable to meet their needs.
- 7.4 Whilst this full planning application is not directly linked to the outline planning permission (as it is not a reserved matters submission) the facility is to be provided by the developer as part of their obligation. The principle of the proposed use can therefore be supported in accordance with Policy CS5 of the Local Plan, Policy CS10 of the Core Strategy and Policy D3 of the Proposed Submission DPD.

### **Location**

- 7.5 The agent has identified that the location of the facility is necessitated by the terms of the Unilateral Undertaking which, as noted above, requires the procurement of the facility prior to the occupation of the 16th residential unit. They consider this to be the most suitable location having regard to this requirement.
- 7.6 Access from Windsor Road is the only option for gaining access to the site other than from Gidding Road. On balance officers are satisfied, subject to the suggested conditions, that the location of the proposed facility is acceptable as it will be situated in a location will can serve the proposed development and existing residents to the east.

### **Design**

- 7.7 The design of the proposal is intended to be consistent with the remainder of the proposed residential development. The building therefore resembles a dwelling to a large extent although the front elevation (which faces south) includes a large amount of glazing at the ground floor level.
- 7.8 The eastern elevation lacks interest and it is unfortunate that this would be readily seen from Windsor Road. However the overall design is such that it is considered to be acceptable in this location as it accords with the principles within the Council's Design Guide SPD and also is consistent with Policy ENV7 of the Regional Plan, Policy En25 of the Local Plan and Policy E1 of the Proposed Submission DPD.

### **Impact upon Residential Amenity**

- 7.9 The proposed siting of the building is such that its location need not detrimentally impact upon the amenity of the occupiers of any nearby dwellings.
- 7.10 The use will clearly generate additional traffic movements on Windsor Road. When visiting the site officers have observed Windsor Road as being dominated by on-street parking, although many properties are provided with dedicated off-street car parking. Officers consider that the traffic generated by the development will predominantly take



place during the day. However the use of the site on Saturdays will generate some movements which will impact on amenity.

- 7.11 Given the position regarding the applicant's need to procure the development at a relatively early stage in the development of the housing site officers have discussed the Parish Council's objection and the agent has agreed to a condition requiring the use of the vehicular access being from the housing site once the new road to the site from Gidding Road has been provided (this would require the relocation of the bollards from their proposed position to prevent access from Windsor Road). The agent has also identified that the development of the health care facility will only take place if the housing development comes forward; hence a condition could reasonably be imposed in relation to the two sites despite the pending reserved matters submission. This is likely to result in the impact upon the residents of Windsor Road being temporary and the noise and disturbance should therefore be assessed on this basis.
- 7.12 In this particular instance and having taken into consideration the noise and disturbance created the proposal can, subject to the suggested condition, be considered to be acceptable having regard to Policy H7 of the Proposed Submission DPD.

#### **Impact upon the Public Footpath**

- 7.13 The existing public footpath runs across the bell mouth of Windsor Road down to the east of the application site. There will be some impact due to the use of Windsor Road by vehicular traffic. However the amount of traffic is not considered to be such that it would prevent its use. As such there is no conflict with Policy T19 of the Local Plan.

#### **Drainage**

- 7.14 The Design & Access Statement advises that the drainage will tie into the development of the housing site. Part of those details have been agreed with the Environment Agency. In order to ensure that the drainage is appropriate it is considered appropriate to apply a condition in this regard.

#### **Car Parking**

- 7.15 Whilst noting the Parish Council's reservations regarding the level of car parking the proposal includes six spaces which is sufficient having regard to Policy E10 of the Proposed Submission DPD and to the Council's car parking standards (in Appendix 1 of the Proposed Submission DPD) which require three spaces per consulting room (there are two consulting rooms).
- 7.16 The proposal also includes provision for cycle parking; the details of which can be secured via condition. It should be noted that the Council's standards only require 1 parking space for cycles.

#### **Conclusion**

- 7.17 The proposed use of the site is considered to be acceptable as it will enhance health care facilities in the village. Whilst the access would create some noise and disturbance to residential amenity the

condition which is suggested is likely to result in this impact being temporary and on this basis it is considered to be acceptable. The condition is worded in such a manner that the Council retains control over the timing of the barrier being relocated to prevent access from Windsor Road.

7.18 The design and layout of the building is considered to be appropriate although the relocation of the main access (as described above) may also assist in shifting the emphasis of the approach from Windsor Road where the eastern elevation is considered to lack interest.

7.19 Car parking provision is considered to be in accordance with the Council's standards and conditions can be applied to control drainage and the choice of materials in order to ensure that the proposal enjoys sufficient linkage into the housing development.

7.20 The proposed development is therefore considered to be in compliance with development plan policies and there are no other material planning considerations which weigh against the proposal. In summary the development is acceptable because:

- \* It would create an additional health care facility which is required to make the housing development on the adjoining land acceptable;
- \* The design and layout of the proposal is considered acceptable;
- \* The harm to residential amenity is likely to be temporary and the Council can control the vehicular access into the site such that it is considered acceptable;
- \* There is sufficient car parking to serve the development;
- \* The proposal need not create any unacceptable disturbance to the use of the public footpath;
- \* Drainage and the appearance of the building can be controlled via condition.

**8. RECOMMENDATION - APPROVE** subject to conditions to include the following:

**02003** Time limit (3 years)

**Nonstand** – details of materials

**Nonstand** – Submit prior to commencement of development a scheme to include details of the phasing of the road with a view to relocating bollards to block off access from Windsor Road once access is available from Gidding Road

**Nonstand** – Drainage

**Nonstand** – Provide car parking prior to first use

**Nonstand** – Cycle parking details

**CONTACT OFFICER:** Enquiries about this report to **Mr Andy Brand**  
**Development Management Team Leader 01480 388490**

## Parker-Seale, Debra (Planning)

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**From:** Diane Davis - Sawtry Parish Council [clerk@sawtry-pc.gov.uk]  
**Sent:** 15 March 2012 13:34  
**To:** DevelopmentControl  
**Subject:** Comments on applications

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**Recommend refusal** – has been temporary for too long – either apply for permanent accommodation or arrange transport home for employees after shifts

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1200311TREE – Chesham House, 56 Green End Rd – felling and removal of one willow tree (NB Tree Preservation Order in place)

**Recommend refusal** – as tree closer to footpath than house, this would be affected first. It is very unwise to cut down a tree 'just in case' subsidence might occur. The tree has a preservation order on it, it is a very pretty tree and it enhances the street scene at the entrance to Rockingham Road. The removal of the tree could still result in subsidence of the property due to the way the ground reacts after removal.

1200182ADV – Pulse and Cocktails, Toll Bar Way – free standing totem sign and two entrance signs - It is noted that the only issues that can be addressed through planning are Highway safety and the effect on amenity. The proposed signs would conflict with the conditions of the license agreement and the Clerk was requested to write to the licensing department with the committee's concerns.

**Recommend refusal** – the additional signs would cause a distraction to motorists on the A1(M) and would affect highway safety. The site is outside of the 30mph limit of the village of Sawtry and as such is in a rural location. Additional signage would adversely affect the visual amenity of this rural area. Toll Bar Way is a popular route for walkers and forms part of several circular routes around the village, including a publicised walk to local woods. Due to the addition of the company name and description the signs would become advertising rather than directional signs.

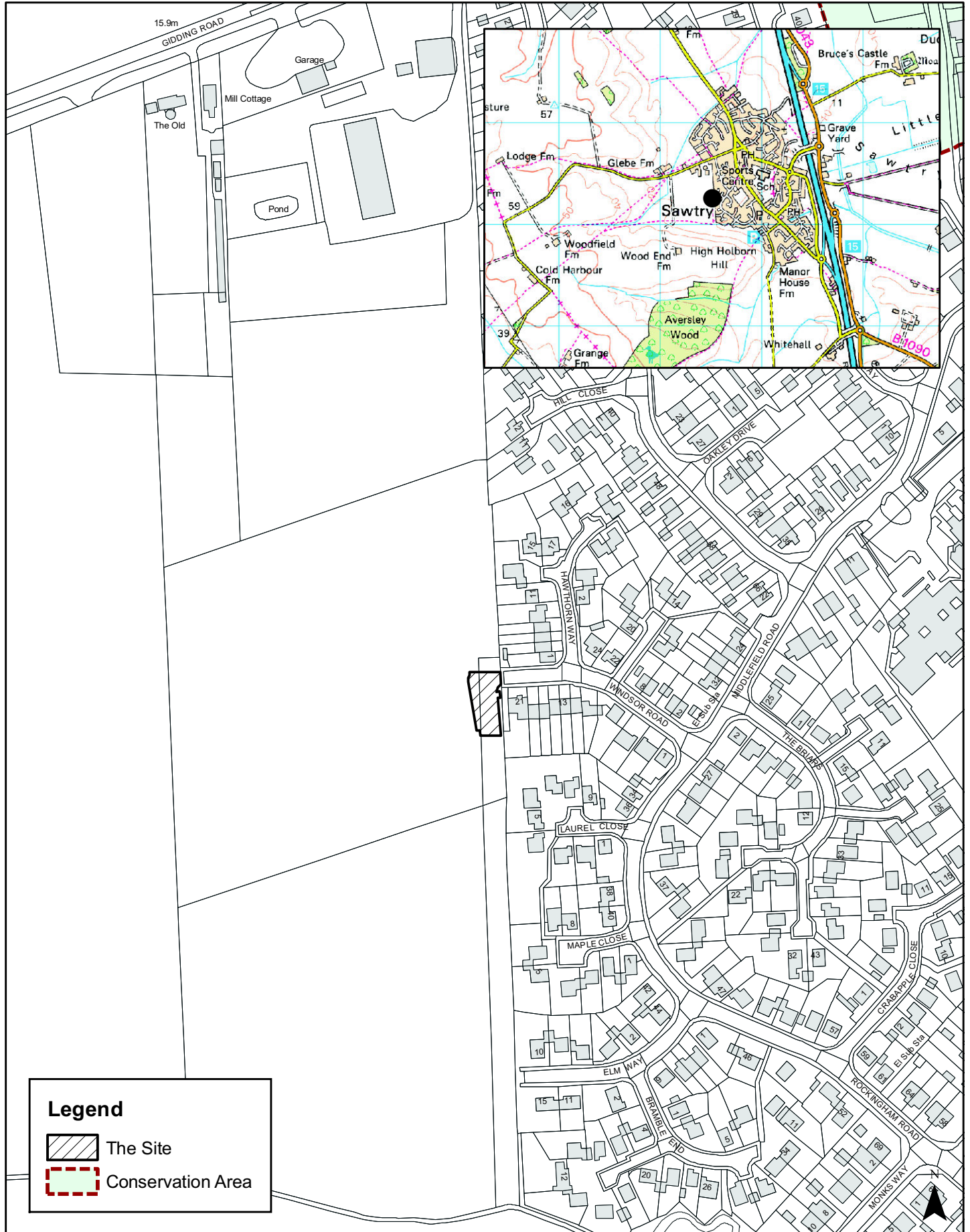
Diane Davis  
 Clerk to the Council  
 Sawtry Parish Council

# Development Management Panel

Application Ref: 1200159FUL

Location: Sawtry

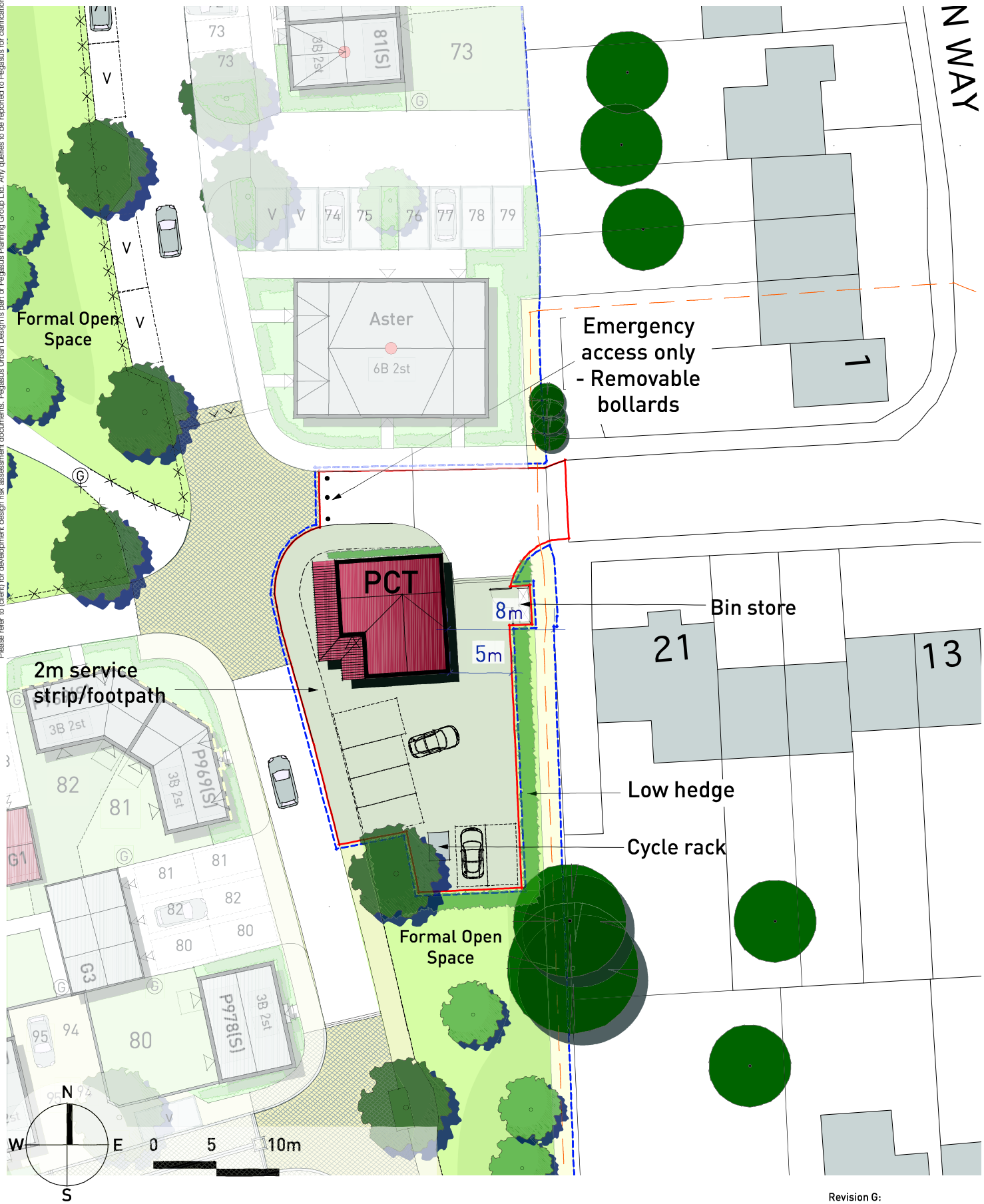
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Scale: 1:2500



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**Key:**  
 PCT location (0.056Ha)  
 Proposed residential land (Persimmon Homes, East Midlands)

Proposed doctors surgery (2 storey unit, 1510 sqft).  
 - 6 parking bays (including 1 disabled).  
 - Cycle rack (4 spaces)  
 - Bin store (2 x Euro bins)

**Revision G:**  
 - Dimension from built form added.  
 - Red line changed to include access to Windsor Road.

Land South of Gidding Road, Sawtry - PCT Layout





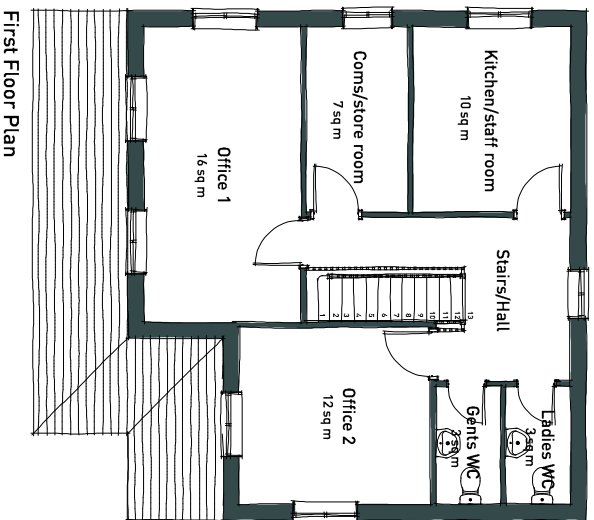
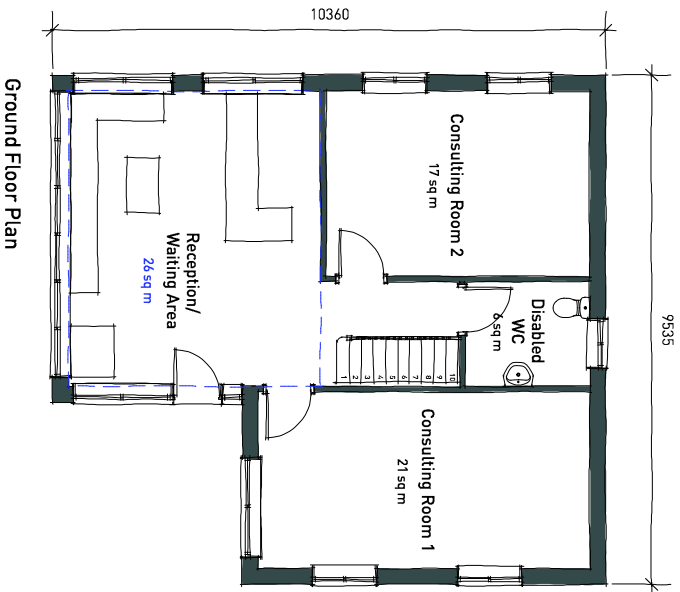
1:100 Scale  
 0 1 3 5m

1510 sq ft

Land South of Gidding Road, Sawtry - PCT Building Elevations

| T: 01285 641717 | F: 01285 642348 | www.pegasuspg.co.uk | Team: MCC/CW/AM | January 2012 | 1:100 @ A3 | dwg: P\_0643\_28A-1 | Client: Persimmon Homes (East Midlands) |





1510 sq ft

Land South of Gidding Road, Sawtry - PCT Building Floor Plans

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**Case No:** 1200180FUL (FULL PLANNING APPLICATION)

**Proposal:** ERECTION OF DWELLING WITH DOUBLE GARAGE AND CAR PORT WITH ROOM ABOVE AND CONSTRUCTION OF NEW ACCESS

**Location:** LAND AT 95 ELTON ROAD STIBBINGTON

**Applicant:** MR P DAY

**Grid Ref:** 508444 297577

**Date of Registration:** 14.02.2012

**Parish:** SIBSON-CUM-STIBBINGTON

---

**RECOMMENDATION - REFUSE**

**1. DESCRIPTION OF SITE AND APPLICATION**

- 1.1 The site forms a large part of the side and rear garden of 95 Elton Road. The site includes a front hedge, lawns, an orchard and other trees.
- 1.2 The south-western frontage of the site fronts onto Elton Road (B671) and is flanked by hedges and bungalows in a ribbon of development in the open countryside.
- 1.3 The main body of the site is to the rear and is flanked by the tall hedges and rear garden of 93 Elton Road to the north-west, a hillock with a wood the subject of a Tree Preservation Order to the south-east. To the rear are tall trees screening in a field which appears to be being used as an amenity space and outbuildings.
- 1.4 The proposal is to:  
\* provide a new access from the site to the classified road,  
\* erect a detached double garage and car port with room above close to the side boundary with 93 Elton Road and  
\* erect a detached, predominantly 2-storey, 4-bed, dwelling further to the rear of the site between the rear garden of 93 and the wood.
- 1.5 There is a Grade II listed building (the Nene Valley Railway's Wansford tunnel), a government pipeline and foul sewer to the south.

**2. NATIONAL GUIDANCE**

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural



economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

## 2.2 BS5837:2005 Trees in relation to construction- Recommendations.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

## 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

### 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **SS1:** "Achieving Sustainable Development" – the strategy seeks to bring about sustainable development by applying: the guiding principles of the UK Sustainable Development Strategy 2005 and the elements contributing to the creation of sustainable communities described in Sustainable Communities: Homes for All.
- **ENG1:** "Carbon Dioxide Emissions and Energy Performance" – new development should be located and designed to optimise its carbon performance.
- **ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

### 3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at [www.cambridgeshire.gov.uk](http://www.cambridgeshire.gov.uk) follow the links to environment, planning, planning policy and Structure Plan 2003:

- None relevant.

### 3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **En17:** "Development in the Countryside" - development in the countryside is restricted to that which is essential to the effective

operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.

- **H23:** "Outside Settlements" – general presumption against housing development outside environmental limits with the exception of specific dwellings required for the efficient management of agriculture, forestry and horticulture.
- **H31:** "Residential privacy and amenity standards" – Indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.
- **H32:** "Sub-division of large curtilages" states support will be offered only where the resultant dwelling and its curtilage are of a size and form sympathetic to the locality.
- **H33:** "Sub-division of large curtilages affecting protected buildings or features" states the subdivision of curtilages will not be supported where development will adversely affect trees worthy of protection.
- **En18:** "Protection of countryside features" – Offers protection for important site features including trees, woodlands, hedges and meadowland.
- **En20:** Landscaping Scheme. - Wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002):

- **HL5** – Quality and Density of Development - sets out the criteria to take into account in assessing whether a proposal represents a good design and layout.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy:

- **CS1:** "Sustainable development in Huntingdonshire" – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development.

- **CS3:** “The Settlement Hierarchy” – states that any area not specifically identified are classed as part of the countryside, where development will be strictly limited to that which has essential need to be located in the countryside.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant:

- **C1:** “Sustainable Design” – development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.
- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy CS3, in order to protect the surrounding countryside and to promote wider sustainability objectives.
- **E5:** “Trees, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value, including ancient woodland and veteran trees. They should wherever possible be incorporated effectively within the landscape elements of the scheme.
- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development. Car free development or development proposals incorporating very limited car parking provision will be considered acceptable where there is clear justification for the level of provision proposed, having consideration for the current and proposed availability of alternative transport modes, highway safety, servicing requirements, the needs of potential users and the amenity of occupiers of nearby properties.
- **H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.
- **P7:** “Development in the Countryside” – development in the countryside is restricted to those listed within the given criteria.
  - a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;
  - b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;
  - c. renewable energy generation schemes;
  - d. conservation or enhancement of specific features or sites of heritage or biodiversity value;

- e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;
- f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;
- g. sites allocated for particular purposes in other Development Plan Documents.

### 3.7 Supplementary Planning Documents:

- Huntingdonshire Landscape and Townscape Assessment Supplementary Planning Document 2007.
- Huntingdonshire Design Guide Supplementary Planning Document 2007.

## 4. PLANNING HISTORY

4.1 1100813FUL Permission was given for substantial extensions to 95 Elton Road and a new vehicular access on 19.07.2011. The permission has not been implemented and would not be capable of implementation in its entirety if the current application were to undertaken.

4.2 A dwelling on the land rear of the site was refused in 1996 (96/1218 refers).

## 5. CONSULTATIONS

5.1 **Sibson-cum-Stibbington Parish Council - Recommend approve.**  
No objection in principle but too high (copy attached)

5.2 CCC Highways – No objections subject to conditions.

5.3 Environmental Protection Officer - No objection subject to a condition to either secure protection against the ingress of ground gasses or a land contamination site investigation.

## 6. REPRESENTATIONS

6.1 None received.

## 7. SUMMARY OF ISSUES

7.1 The main issues to consider are the principle of the development in the countryside and issues of sustainability, the scale, design and position of the development and the impact on the character and appearance of the area, the impact on the trees and hedges, the effect on residential amenity and highway safety.

### Principle:

7.2 This ribbon of development, including the site, along Elton Road is clearly detached from the continuous built-up area of Wansford and Stibbington and thereby in the open countryside for the purposes of the local planning policy. The site is therefore in an area where the generally restrictive policies apply in order to protect the countryside



for its own sake and to prevent non-essential motor journeys. The proposal is not essential development in the countryside.

- 7.3 The dwelling is not in a sustainable location being some distance from shops and services. Future occupiers and visitors would be likely to have to make journeys by motor vehicles as the site is not well served by public transport: the nearest bus stops are at Wansford and near the A1 at Stibbington. The lack of pavements and street lighting at the front of the site, and the high traffic speeds on the main road (the national speed limit of 60mph applies) between the site and the nearest shops and services of Wansford, will be likely to deter pedestrians and cyclists.
- 7.4 It is relevant to note that on a nearby site at 83 Elton Road, two proposals for a dwelling in place of existing buildings have been dismissed at appeal in 2008 on the basis that the proposal was not in a sustainable location: applications 0701507FUL and 0800691FUL refer (latter decision attached).
- 7.5 The proposal is not essential development in the countryside. The proposal is not sustainable because the occupiers would be heavily dependent upon the motor car for day to day services. The proposal is therefore contrary to the guidance of the The National Planning Policy Framework (2012) and policies SS1 and ENG1 of the East of England Plan - Revision to the Regional Spatial Strategy (May 2008), H23 and En17 of the Huntingdonshire Local Plan 1995, CS1 and CS3 of the Adopted Huntingdonshire Core Strategy 2009, E2 and P7 of the Development Management DPD Proposed Submission 2010.

**Scale, design and position/character and appearance of the area:**

- 7.6 There is variety in the design, form and layout of the dwellings in Elton Road. However, the properties closest to the proposed dwelling: 91, 93 and 95 Elton Road, are all modest bungalows and 97 Elton Road is a modest dwelling with first floor rooms in a low roofspace. 91-95 Elton Road currently have similar sized plots with a wide frontage and long rear garden and 97 has a wide plot and the dwellings at 91-97 Elton Road are all close to the frontage.
- 7.7 In contrast, the proposed development would be incongruous in its immediate setting of simple bungalows in spacious gardens due to the undue bulk and scale and imposing design of the house, with a main 2-storey wing of approximately 15.2m x 6.6m with a ridge and eaves height of approximately 8.5m and 5.4m respectively plus additional front and rear projecting wings and the incorporation of reconstituted stone and quoins.
- 7.8 The set back position of the proposed house behind the proposed garage and 95's rear garden would also be incongruous in this area since the flanking dwellings are much closer to the road frontage. The house and garage would be visible from the main road along the new access and over the modest frontage bungalow. The shape and size of the proposed curtilages for 95 Elton Road and the proposed house would also be incongruous. 95 Elton Road would retain a much smaller garden than 91, 93 and 97 Elton Road and the new plot's curtilage would be unsympathetic to its surroundings as it would entail

a narrow frontage and the main body of the site being set back from the road frontage.

- 7.9 The variety in the layout of properties in the wider area of Elton Road has been taken into account. For example there is a large new house and outbuilding set well back from the road to the north-east of the site and adjoining wood (0901575FUL refers and takes into account an earlier permission, 0403047OUT) and there are also dwellings in small plots at 85 and 89a Elton Road and dwellings set back from the road at 87 and 87a Elton Road. However those dwellings were either approved some time ago (e.g. number 87 Elton Road in 1954) or were permitted on the basis of removing previous uses which were out of keeping with the residential character of the area. There are no such similar circumstances in this case. It is therefore considered that the new house would be harmful and incongruous, for the reasons set out above.
- 7.10 The backland position of the dwelling, would, result in the harmful consolidation of the existing loose-knit, predominantly linear, pattern of development and the erosion of the space around the existing buildings, which, with the incongruous bulk, scale and design of the house and the incongruous size and shape of the resultant curtilages, would detract from the character and appearance of the area. The development is therefore considered to be contrary to policies ENV7 of the East of England Plan - Revision to the Regional Spatial Strategy (May 2008), En25 and H32 of the Huntingdonshire Local Plan 1995, HL5 of the Huntingdonshire Local Plan Alteration 2002, CS1 of the Adopted Huntingdonshire Core Strategy 2009 and E1 of the Development Management DPD Proposed Submission 2010 and contrary to the guidance of The National Planning Policy Framework (2012) and the Huntingdonshire Design Guide Supplementary Planning Document 2007 which seek high standards of development.

**Impact on trees and hedges:**

- 7.11 The proposal will result in the loss of trees on the site, including orchard trees which are of biodiversity value, and part of the front hedge. However, the trees do not merit a Tree Preservation Order and it is considered a refusal on tree and hedge loss grounds would be unreasonable. It is also considered that the proposal need not have any adverse effect on the adjoining trees including the trees the subject of the Tree Preservation Order. Replacement landscaping is proposed and this could have been secured by condition if the application had been approved.

**Residential amenity:**

- 7.12 The main issue to consider is the effect of the proposal on the amenities of the occupiers of 93 and 95 Elton Road.
- 7.13 The proposal will result in an increase in activity and disturbance on the site, for example along the new access and in the area around the new buildings. However, it is considered that there is adequate screening between the site and neighbouring properties to avoid undue disturbance.

- 7.14 The proposed garage and external staircase would be close to the north-eastern side boundary but it is considered that the high hedge provides an adequate screen to avoid undue loss of privacy, overlooking, overshadowing or overbearing effects to the occupiers of 93 Elton Road from the new house and garage.
- 7.15 The proposed external staircase of the garage will afford views of the rear garden of 95 Elton Road approximately 9m away. However, it is considered that this will not affect the privacy of the occupiers unduly and that a condition could have been imposed to ensure that the sills of the proposed rooflights in the garage building were high enough to avoid undue overlooking.
- 7.16 Part of the front of the proposed house would be set directly behind the proposed back boundary of 95 Elton Road and approximately only 6.2m away. The back garden to be retained with 95 Elton Road would exceed 15m in length. However, it is considered that the undue proximity of the proposed substantial 2-storey house, with 6 first floor front windows including 2 bedroom windows approximately only 6.2m from the boundary, would result in unacceptable loss of amenity to the occupiers of 95 Elton Road by reason of loss of privacy in their rear garden and overbearing effects. This would be contrary to policies H31 of the Huntingdonshire Local Plan 1995 and H7 of the Development Management DPD Proposed Submission 2010.

**Highway safety and parking:**

- 7.17 The additional access, traffic and parking will be satisfactory in highway safety terms subject to the details being resolved by condition and Cambridgeshire County Council construction specification.

**Other matters;**

- 7.18 The development is far enough from the listed tunnel to avoid undue impact on its setting.
- 7.19 If the application had been approved, the Environmental Protection Officer matters regarding possible ground gasses/contamination could be addressed by condition, as could secure cycle parking and water conservation measures.

**Conclusion:**

- 7.20 Taking the policies and guidance and relevant representations and material considerations into account, it is concluded that the application should be refused.

**8. RECOMMENDATION – REFUSE** for the following reasons;

- 8.1 The proposal is not essential development in the countryside. The proposal is not sustainable because the occupiers would be heavily dependent upon the motor car for access to day to day services. The proposal is therefore contrary to the guidance of The National Planning Policy Framework (2012) and policies SS1 and ENG1 of the East of England Plan - Revision to the Regional Spatial Strategy (May 2008), H23 and En17 of the Huntingdonshire Local Plan 1995, CS1

and CS3 of the Adopted Huntingdonshire Core Strategy 2009, E2 and P7 of the Development Management DPD Proposed Submission 2010.

- 8.2 The backland position of the dwelling would result in the harmful consolidation of the existing loose-knit, predominantly linear, pattern of development and the erosion of the space around the existing buildings, which, with the incongruous bulk, scale and design of the house and the incongruous size and shape of the resultant curtilages, would significantly harm the character and appearance of the area. The development is therefore considered to be contrary to policies ENV7 of the East of England Plan - Revision to the Regional Spatial Strategy (May 2008), En25 and H32 of the Huntingdonshire Local Plan 1995, HL5 of the Huntingdonshire Local Plan Alteration 2002, CS1 of the Adopted Huntingdonshire Core Strategy 2009 and E1 of the Development Management DPD Proposed Submission 2010 and contrary to the guidance of The National Planning Policy Framework (2012) and the Huntingdonshire Design Guide Supplementary Planning Document 2007 which seek high standards of development.
- 8.3 The proximity of the proposed dwelling to the proposed rear boundary of 95 Elton Road would result in unacceptable loss of amenity to the occupiers of 95 Elton Road by reason of undue overlooking and loss of privacy in the rear garden and adverse overbearing effects. This would be contrary to policies H31 of the Huntingdonshire Local Plan 1995 and H7 of the Development Management DPD Proposed Submission 2010.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**CONTACT OFFICER:**

Enquiries about this report to **Sheila Lindsay Development Management Officer 01480 388247**



Parish Council Reply

From: wendy grey

Sent: 10/03/2012 07:50

To: [mail@huntsdc.gov.uk](mailto:mail@huntsdc.gov.uk)

Cc:

Subject: Planning Application

**1200180FUL - Erection of dwelling with double garage and car port with room above at 95 Elton Road, Stibbington** - this application was discussed at Parish Council Meeting on 7th March 2012 - no objections were raised.

Would you please pass this information to the appropriate planning officer. Thank you.

Wendy Gray  
Parish Clerk

**Parish Council supplementary comment: 1200180FUL**

**Sent:** 31 March 2012 20:25

**To:** Lindsay, Sheila (Plan. Serv.)

**Subject:** Planning application 95 Elton Road

Dear Sheila

Further to you previous e-mail the councillors have made further comment:

**"While the PC has no objection in principal we would comment that the Vertical Elevation is too high".**

Wendy Gray

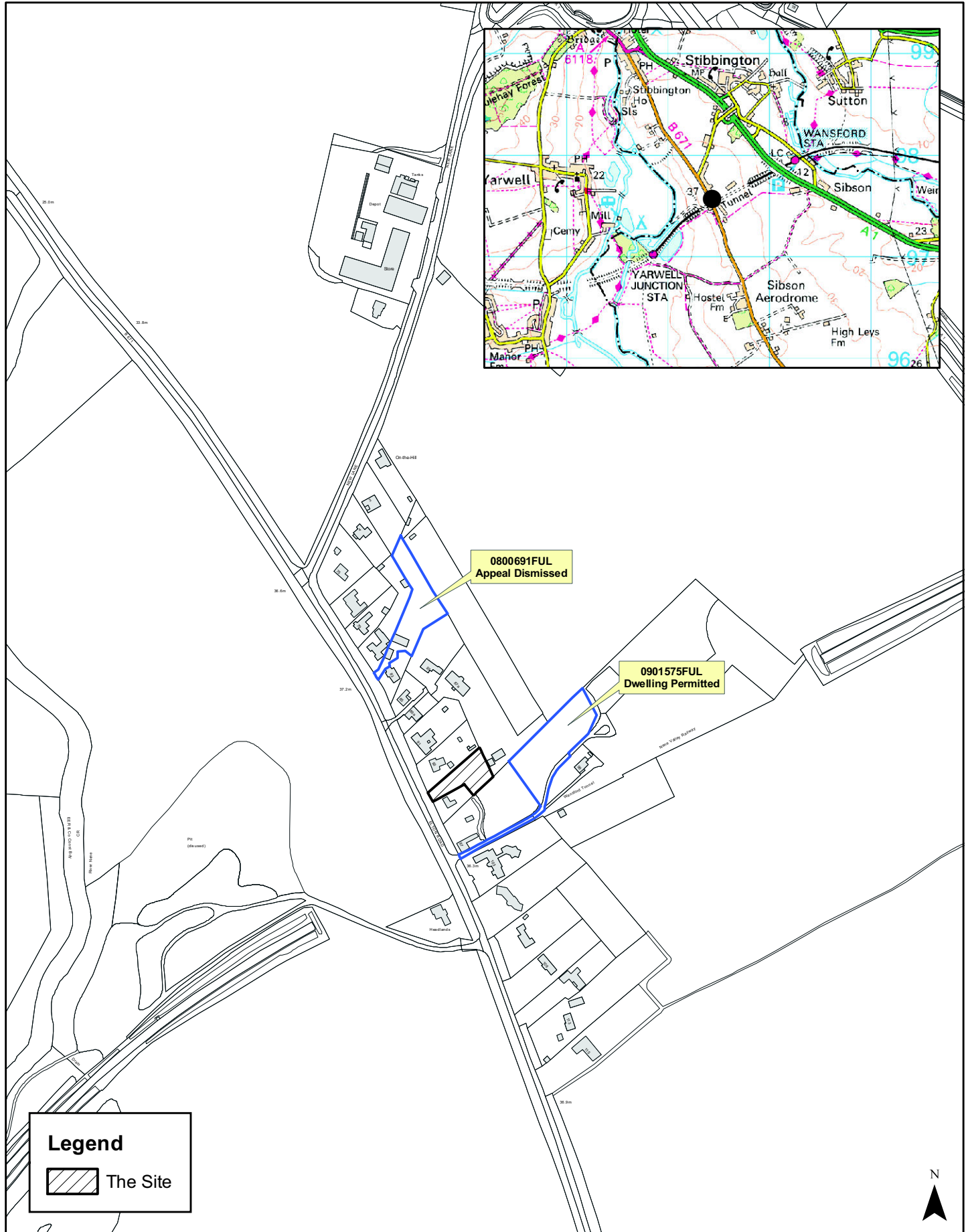
Parish Clerk

# Development Management Panel

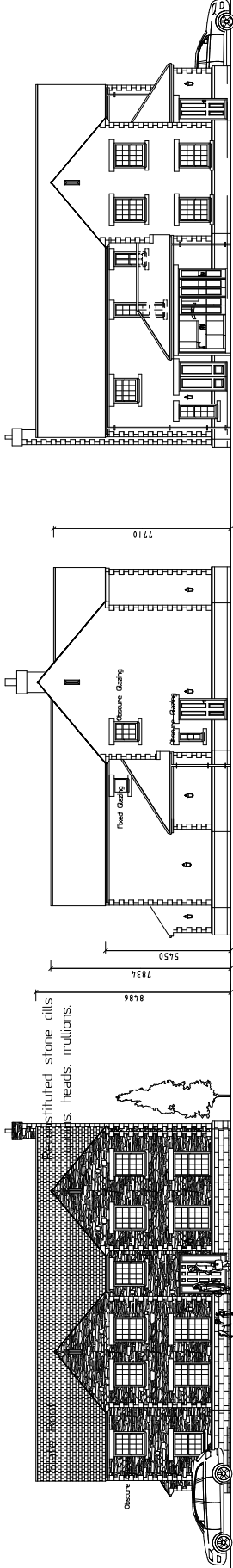
Application Ref: 1200180FUL

Location: Sibson-cum-Stibbington

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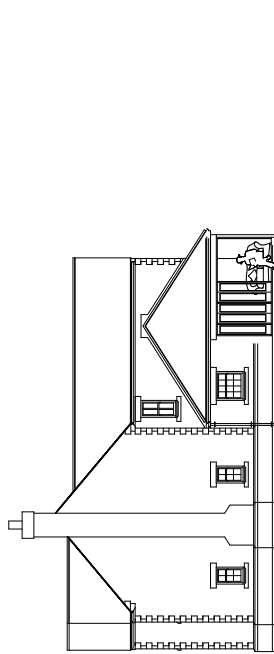




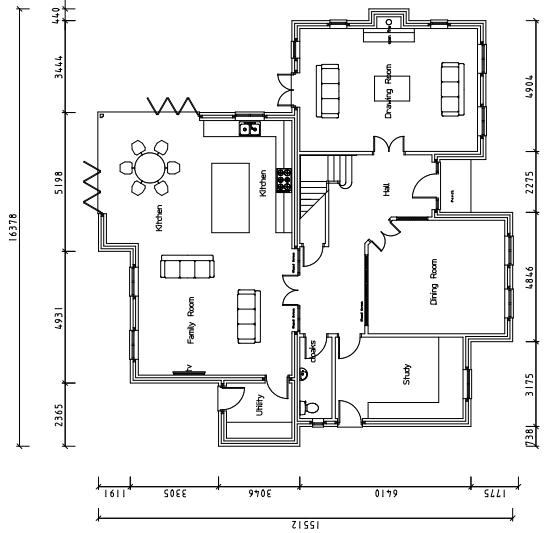
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SIDE ELEVATION

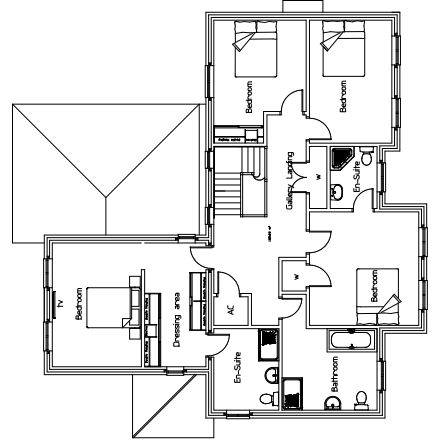
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

Rev. A. March 2012 Dimensions Added To Elevations And Revised On Plan

US ROAD WORK ONLY  
DO NOT SCALE

CONTRACT  
Contract Drawing At  
95 Filson Road, Sibbington  
Peterborough, PE6 6JX  
For Mr. P. Day

DRAWING TITLE  
Proposed Plans  
and Elevations SK2

SCALE 1:100

DATE Nov 2011 DRAWN BY S.Andrews

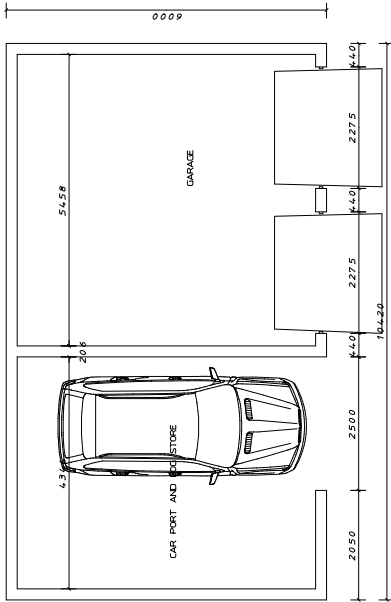
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SAMP09/11 TAGT NO. (01) A

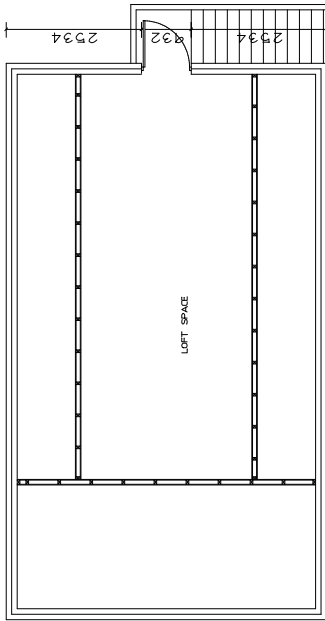
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Sheet Size A1

Shayne Andrews Design And Architecture Ltd  
10 Spalding Road, Deeping St James,  
Peterborough, PE6 8NJ  
Tel No. 01778 243245 Mob. 0774808244  
E-mail: shayne@shaynadesignandarchitecture.co.uk

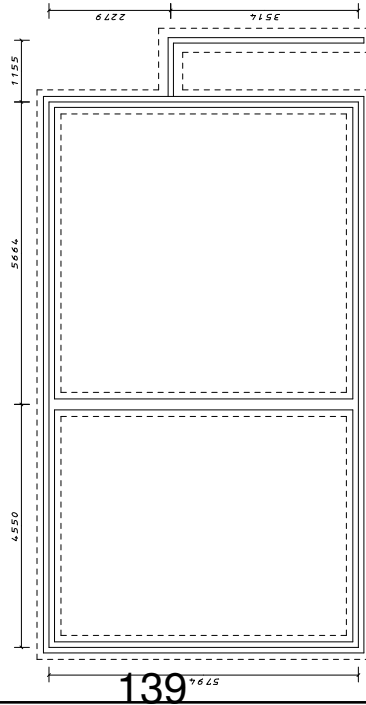




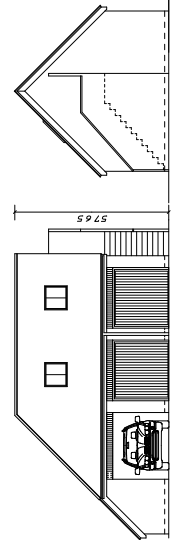
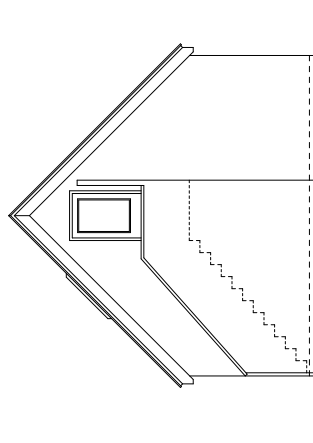
Ground Floor Plan



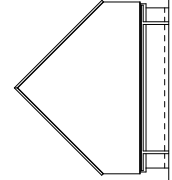
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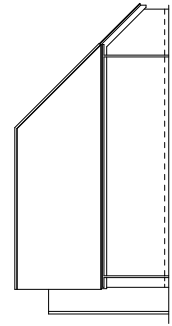
Foundation Plan



Side



Side



Rear

Elevations

US ROAD PERMITS ONLY DO NOT SCALE	
CONTRACT: Dwelling and Garage At 95 Fibers Road, Sibborton, Peterborough, PE6 6JX. For Mr. P. Day	
DRAWING TITLE: Proposed Garage Plans and Elevations	
SCALE: 1:100	
DATE: Dec. 2011	DRAWN BY: S.Andrews
PA No.	PGT. No.
SA/SD/P01/1	001
SHEET No.	REV
1:100 0 1.0 5.0 1:50 0 1.0 3.0 Sheet Size A1	
Shayne Andrews Design And Architecture Ltd 10 Spalding Road, Deeping St James, Peterborough, PE6 8NU Tele No. 01778 449245 Mob. 07748093441 E-mail: shayne@shaynearchitecture.co.uk	

**GREEN PAPERS FOLLOW**



# Appeal Decision

Site visit made on 29 September 2008

by **Howard Rose** DMS DipTP MRTPI  
MCIWM

an Inspector appointed by the Secretary of State  
for Communities and Local Government

The Planning Inspectorate  
4/11 Eagle Wing  
Temple Quay House  
2 The Square  
Temple Quay  
Bristol BS1 6PN

☎ 0117 372 6372  
email: enquiries@pins.gsi.gov.uk

Decision date:  
7 October 2008

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**Appeal Ref: APP/H0520/A/08/2077473**  
**83 Elton Road, Stibbington, Peterborough, PE8 6JX**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
- The appeal is made by Mr J Marshall against the decision of Huntingdonshire District Council.
- The application Ref.0800691FUL, dated 12 February 2008, was refused by notice dated 23 April 2008.
- The development proposed is the erection of a detached dwelling to replace the commercial premises.

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## Decision

1. I dismiss the appeal.

## Main issues

2. I consider that there are three main issues in this appeal. The first is whether the proposed development would accord with adopted planning policy which places strict controls on development in the countryside. The second, if this is not the case, is whether there are material considerations sufficient to outweigh the conflict with policy. The third is whether the proposal would represent a sustainable form of development.

## Reasons

*Whether the proposal would accord with policy*

3. The appeal property is within a row of large detached houses on the east side of Elton Road a short distance south of the junction with New Lane. The row of houses is outside the development limits of any settlement and falls within the open countryside. The proposal is to demolish the outbuildings on the site, which are currently used for business purposes, and to erect a 5 bedroom dwelling on the rear garden of the appeal property which would share the existing access.
4. Policy H23 of the adopted Huntingdonshire Local Plan sets a general presumption against residential development in the countryside except for that required for the efficient management of agriculture, forestry and horticulture. The proposal is not required for any such activity and the appellant concedes that the proposal would not constitute essential development. I am aware that the Inspector who dealt with a previous appeal for a similar proposal (ref: APP/H0520/A/08/2055471) found, similarly, that the proposal would not be acceptable in the countryside and nothing has changed in policy terms since that decision was made. I, therefore, conclude that the proposed development would not accord with adopted planning policy which places strict controls on development in the countryside.

*Whether there are material considerations sufficient to outweigh the conflict with policy*

5. The appellant advises, in support of the proposal, that there are six members of staff involved in the business operated from the appeal site and that the commercial premises include workshops, stores, offices and laboratories for seed cleaning, grading and testing.
6. While the use of the premises appears to have been low-key, I recognise that it is possible that the use could be intensified with a higher level vehicle usage than would be generated by a new dwelling. However, the permission for commercial use of the premises is personal and will cease at some point in the future. In the circumstances, the advantage of removing this essentially non-conforming commercial use from this group of dwellings would only be of temporary benefit and, in my judgement, would not be enough to overcome the long term visual impact of a new dwelling in this countryside location. Consequently, I conclude that there are no material considerations sufficient to outweigh the conflict of the proposed development with adopted planning policy.

*Sustainability*

7. The appellant submits that there are numerous facilities in the village which make the appeal site a sustainable location and would prevent the need for additional car journeys. However, the site is distant from the village facilities and is not served by public transport or footpaths connecting to the nearest village or town. The Council indicates that the nearest public bus stop is on the A1 at Stibbington, just over a kilometre away, and that there is also a bus stop for services to Peterborough, Stamford, Oakham and Oundle in Wansford, 1.5 km away. There are no roadside footpaths in the vicinity of the appeal site and the national speed limit of 60mph operates along Elton Road.
8. While there are facilities including pubs, a post office and chiropodist in Wansford, other facilities such as shops and schools are further away in Elton and Peterborough. The nature of the country roads in the area are a deterrent to walking or cycling and, in my judgement, mean, contrary to the view of the appellant, that it is likely the new residents would be likely to use the car to reach many facilities and services. This would conflict with policy P3 of the Huntingdonshire Interim Planning Policy Statement 2007 which is material to my consideration of the appeal. This requires that new development should contribute to the social and economic well-being of the district by, among other things, limiting the need to travel and increasing opportunities to make necessary journeys by foot, cycle or public transport. These things being so, I conclude that the proposal would not represent a sustainable form of development.

**Conclusions**

9. I find that the proposal would not accord with the development plan and there are no material considerations which would indicate otherwise. I have taken account of all other matters raised, including the latest bus timetables for the area and the activities highlighted in the parish magazine but they do not change my view about the unacceptable nature of the appeal proposal. Consequently, I have found nothing which would outweigh the main considerations that have led me to my decision. For the reasons given above I conclude that the appeal should be dismissed.

*Howard Rose*

INSPECTOR

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**Case No:** 1200299FUL (FULL PLANNING APPLICATION)

**Proposal:** ERECTION OF REPLACEMENT DWELLING AND ASSOCIATED WORKS

**Location:** GREENACRES ST IVES ROAD

**Applicant:** MR AND MRS CURSLEY

**Grid Ref:** 535088 277884

**Date of Registration:** 01.03.2012

**Parish:** SOMERSHAM

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## RECOMMENDATION - REFUSE

### 1 DESCRIPTION OF SITE AND APPLICATION

- 1.1 This site is located in open countryside to the west of Somersham, on the road between Somersham and St Ives. The land extends to 1.01ha, and is laid mainly to lawn although there are shrub beds and a kitchen garden close to the dwelling, and a less cultivated area towards the western end of the site. There is a mature hedge along the road frontage but the other boundaries are more open. The dwelling is located towards the eastern end of the site, and is a bungalow built in 1932 and extended in 1937. The building measures approximately 9m by 15m and it has a ridge height of 6m. There is a conservatory on the rear. There are a number of out-buildings close to the eastern boundary. There is an access into the site close to its eastern boundary.
- 1.2 Development in the vicinity of the site is scattered and is largely residential in land use although there is a public house a short distance to the west and a farm on the opposite side of the road.
- 1.3 The proposal is to demolish the existing dwelling and to erect a replacement. This will be located immediately to the west of the existing building, and will have overall ground dimensions of 19.2m by 13.1m. The central 7.6m section will be shallower at 7.4m. The gables will be limited to 10.1m in depth, with single storey sections on the rear upto the full depth of 13.1m. This gives the building a gross floor area of 380 sq.m. The eaves height will be 5.3m and the ridge height 8m. The materials will be brick and tile but these have not been specified in detail. The roof will be hipped.
- 1.4 The site is outside the built up area of Somersham, and the road is classified (B1086).

### 2 NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social



role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

### 3 PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

- 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

**ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

- 3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

None relevant

- 3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

**H23:** "Outside Settlements" – general presumption against housing development outside environmental limits with the exception of specific dwellings required for the efficient management of agriculture, forestry and horticulture.

**H27:** "Replacement Dwellings in the Countryside" – may be acceptable, provided that the proposal only involves modest changes in building size, are of good design and well related to their setting and do not create or perpetuate a traffic hazard.

**H31:** “Residential privacy and amenity standards” – Indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.

**En17:** "Development in the Countryside" - development in the countryside is restricted to that which is essential to the effective operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.

**En18:** “Protection of countryside features” – Offers protection for important site features including trees, woodlands, hedges and meadowland.

**En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.

- 3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

None relevant

- 3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

**CS1:** “Sustainable development in Huntingdonshire” – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development.

**CS3:** “The Settlement Hierarchy” – states that any area not specifically identified are classed as part of the countryside, where development will be strictly limited to that which has essential need to be located in the countryside.

- 3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

**E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.

**E2:** “Built-up Areas” – development will be limited to within the built-up areas of the settlements identified in Core Strategy policy CS3, in order to protect the surrounding countryside and to promote wider sustainability objectives.

**E5:** “Tree, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or

hedgerows of visual, historic or nature conservation value, including ancient woodland and veteran trees.  
They should wherever possible be incorporated effectively within the landscape elements of the scheme.

**E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development. Car free development or development proposals incorporating very limited car parking provision will be considered acceptable where there is clear justification for the level of provision proposed, having consideration for the current and proposed availability of alternative transport modes, highway safety, servicing requirements, the needs of potential users and the amenity of occupiers of nearby properties.

**H5:** “Homes in the Countryside” proposals to alter, extend or replace existing dwellings should not: a. significantly increase the height or massing of the dwelling, subject to the need to provide satisfactory living conditions; b. significantly increase the impact on the surrounding countryside; and entail development where only the site of the previous dwelling exists or the previous dwelling has been abandoned.

**H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

**P7:** “Development in the Countryside” – development in the countryside is restricted to those listed within the given criteria.  
a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;  
b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;  
c. renewable energy generation schemes;  
d. conservation or enhancement of specific features or sites of heritage or biodiversity value;  
e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;  
f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;  
g. sites allocated for particular purposes in other Development Plan Documents.

3.7 The SPD Design Guide is a material planning consideration.

#### **4 PLANNING HISTORY**

0801073FUL – erection of replacement dwelling. Refused 21st May 2008.

1200120CLPD – certificate for proposed use for extensions and alterations to existing dwelling Approved 28th March 2012

#### **5 CONSULTATIONS**

5.1 **Somersham Parish Council – Approve** (copy attached).

## **6 REPRESENTATIONS**

6.1 Neighbours – no representations received.

## **7 SUMMARY OF ISSUES**

7.1 The issues in this case relate to the principle of the development, the impact of the proposal on the character and appearance of the site and the location in general, the effect on neighbours, the highway implications, and the impact on the trees.

The principle of the development

7.2 This site is in the open countryside for the purposes of the Development Plan and emerging planning guidance. Current policies are to restrict development in the countryside to that for which a rural location is justified. However, the use of this site for a single dwelling is long established and it is therefore considered that the erection of a replacement dwelling would be acceptable in principle and would not be contrary to the policies relating to the provision of new residential development outside the built up areas of the adjacent settlements.

### **The impact of the development on the site and the location.**

7.3 There are no overriding objections to the demolition of the existing building as this is of no great merit and it does not make a positive contribution to the character of the area.

7.4 In 2008, the Development Control Panel refused planning permission for the erection of a replacement dwelling on this site, on the grounds that the development would have a detrimental impact on the character and visual amenity of the area due to its design, scale, form and prominent location. The proposed footprint was to have been 188 sq.m. compared with the 190 sq.m. of the present proposal. However, a significant difference between the two is the fact that the earlier scheme proposed a limited amount of accommodation at first floor level (about one third of the footprint) whereas, in the current case, the entire building has two storeys. It is considered therefore that the current proposal will have a greater impact on the character and appearance of the locality than the earlier, refused, scheme would have done.

7.5 The erection of a replacement dwelling in the countryside is subject to the provisions of policy H27 of the Local Plan 1995, and policy H5 of the DMDPD. Both policies impose restrictions on the amount by which the size of the original building can be increased, in order to protect the countryside from inappropriately large and visually intrusive development. Policy H27 refers to “only modest changes in building size”, whilst policy H5 states that replacement dwellings should not “significantly increase the height and massing of the original building”, and should not “significantly increase” its impact on the surrounding countryside. It should be noted that the first part of policy H5 is subject to the caveat that any proposal is subject to the need to provide satisfactory living accommodation for the occupiers. There is no reference in the D and A Statement to any specific need.

- 7.6 When assessing a proposal in the light of policies H27 and H5, due regard must be had to the amount by which the size of the existing dwelling can be increased by using its permitted development rights. In this particular case, the applicant has submitted an application for a Certificate of Lawfulness of Proposed Use or Development for the erection of extensions to the property. On the basis of the building's permitted development rights, it could be extended by:-
- 1) the addition of a first floor of accommodation, projecting an additional 3m to the rear of the original structure. However, the height of the extension should not exceed the highest part of the roof, and the eaves should not exceed the height of the existing eaves.
  - 2) The erection of extensions on either side of the building, providing neither of these do not exceed half the width of the existing building, do not have more than one storey and are not more than 4m high.
  - 3) The addition of dormer windows to the existing roof.
- 7.7 In practice, this will enable the width of the building to be increased from 8.88m to 17.76m (but only as far as the rear of the original building and with a height limitation of 4m), and the depth of the original building on the rear by 3m. This would include the provision of accommodation at first floor level but with no increase in the height of the building above either the original ridge or eaves. By comparison, the proposed dwelling will have a width of 19.2m and a maximum depth of 13.1. The proposed dwelling will be two storeys throughout with an eaves height of 5.3m and a ridge height of 8m.
- 7.8 Notwithstanding the possibility of extending the existing dwelling under its permitted development rights, it is considered that the proposed dwelling will represent a substantial increase in the overall bulk and scale of the original structure and will, as a consequence, significantly increase its impact on the surrounding countryside. When compared with the ridge height of the original building (approximately 6m), the height of the proposed building will be 8.0m, but the most significant change in terms of the increase in bulk will be the addition of a first floor of accommodation. Even if it were extended, nearly half the original building will be limited to 4m in height. The proposed building will be wider than the original (by 1.44m) and although it will not be as deep (by 4.58m) this decrease in depth does not compensate for the increase in the bulk at first floor level.
- 7.9 The combination of the overall increase in the height of the building and the substantially greater bulk at first floor level represents more than a "modest" change in the building size as referred to in policy H27, and "significantly" increases the height and massing of the original building as referred to in policy H5. It will not be of a "similar scale" to the original dwelling as mentioned in paragraph 2.88 of the HLP1995. When compared with the existing dwelling, the proposal will have a considerably greater adverse impact on the appearance and character of the site and the open countryside in general and it will be significantly more dominant than the present building.
- 7.10 Policy H5(a) requires the proposal to be assessed against the need to provide satisfactory living conditions for the occupiers. Need is not defined in the policy or the subsequent text and thus it falls for each case to be assessed on its individual merits. Whilst the proposed



dwelling would provide much improved living conditions for the applicant and his family, this matter is not considered to be an overriding planning consideration, and the assessment of the proposal must rely on the degree of difference between the existing and proposed dwellings. As referred to above, the differences in this case are considered to be significant.

- 7.11 Overall, it is considered that the proposal will be contrary to the provisions of policies H27 and H5.
- 7.12 In design terms, the building has been broken into a series of elements but the limited set back of the middle section of the front elevation does not give a substantial degree of articulation to this elevation. However, the windows are of a style sympathetic to a dwelling in a fenland location and some variation in form has been introduced by the lower eaves level in the central section and by the dormer windows which bridge the walls and the roof. The number of windows on this elevation has been limited and they do not dominate it. Elsewhere, the windows tend to be larger but they are in proportion with the scale of the elevations and their layout largely follows the advice in the Design Guide. The scale and relationship of one element with another, and the general proportions of the building are acceptable, but this consideration does not disguise the fact that the proposal represents a significant increase in the size of the original structure.
- 7.13 There is no overall pattern to the form of the existing buildings in the vicinity of the application site, and all the properties tend to be of an individual design. The majority are two storey and include a variety of different elements.
- 7.14 Looking at development in the area as a whole, it is considered that, on balance, an objection to the design of this building could not be sustained.

#### **The effect on neighbours**

- 7.15 The proposed building will be a substantial distance from the nearest neighbour (52m) and the development will have only a minimal impact in the amenities of this property. There will be no overshadowing and, although there will be two side windows in the first floor gable of the property, the distance between the two properties will be such that overlooking will be insignificant.
- 7.16 The proposal does not conflict with policies H31 or H7.

#### **Highway implications**

- 7.17 There will be no change in the highway situation as the existing access will be retained and the garage adjacent to this access will continue to be used. There is ample space within the curtilage of the site to provide two parking spaces in accordance with the requirements of policy E10 and appendix 1 of the DMDPD.

#### **Impact on the trees**

- 7.18 The proposed development will be well clear of the trees on this site and will not affect them. The proposal complies with policies En18 and E5.

### **Other issues**

- 7.19 Sustainability – sustainability is a core principle in the NPPF, and underpins policy CS1 of the Core Strategy. Despite being outside the built up area of the village, the site is within reasonable distance of the centre of Somersham, where a range of facilities are available. The land is already developed with a single dwelling, and there is no reason to suspect that the proposal will have a significant impact on the natural habitat of the site or will greatly increase water consumption or greenhouse gas emissions. The applicant intends to use rainwater harvesting, and the sustainability of the property will be increased by the use of efficient insulation, solar panels and ground source heat pumps. The use of these devices will enhance the sustainability of the development and will comply with the requirements of policy CS1

### **Conclusions**

- 7.20
1. The erection of a replacement dwelling is acceptable in principle.
  2. The bulk, scale and massing of the proposal will be contrary to the provisions of policies H27 and H5
  3. The proposal will not result in a significant loss of amenity to the immediate neighbours.
  4. There are no overriding highway objections.
  5. The proposal will not result in the loss of any trees from the site.
  6. There are no other material planning considerations which have a significant bearing on the determination of this application.
  7. The proposal would be sustainable.
- 7.21 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is considered that planning permission should not be granted in this instance.
- 7.22 If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

### **8. RECOMMENDATION – REFUSE** for the following reason:

- 8.1 The proposal would be contrary to the provisions of policy H27 of the Huntingdonshire Local Plan 1995 and policy E5 of the Development Management DPD Proposed Submission 2010 in that the development, by reason of its form, bulk and massing would not adequately respect or reflect the scale and nature of the dwelling it is intended to replace and it would thereby, result in an over-dominant feature which would be detrimental to, and have an adverse impact on, the open character and rural appearance of the site and the area in general.

### **CONTACT OFFICER**

Enquiries about this report to **David Hincks Development Management Officer 01480 3898406**

**To:** DevelopmentControl[/O=HUNTS DISTRICT  
COUNCIL/OU=HDC/CN=RECIPIENTS/CN=DEVELOPMENTCONTROL];  
**Subject:** Comments for Planning Application 1200299FUL  
**Sent:** Tue 3/13/2012 11:04:41 AM  
**From:** developmentcontrol@huntsdc.gov.uk

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 11:04 AM on 13 Mar 2012 from Mrs Penelope Bryant.

### **Application Summary**

**Address:** Greenacres St Ives Road Somersham Huntingdon PE28 3ER  
**Proposal:** Erection of replacement dwelling and associated works  
**Case Officer:** David Hincks  
[Click for further information](#)

### **Customer Details**

**Name:** Mrs Penelope Bryant  
**Email:** somershampc@aol.com  
**Address:** 50 High Street, Somersham, Huntingdon, Cambridgeshire PE28 3JB

### **Comments Details**

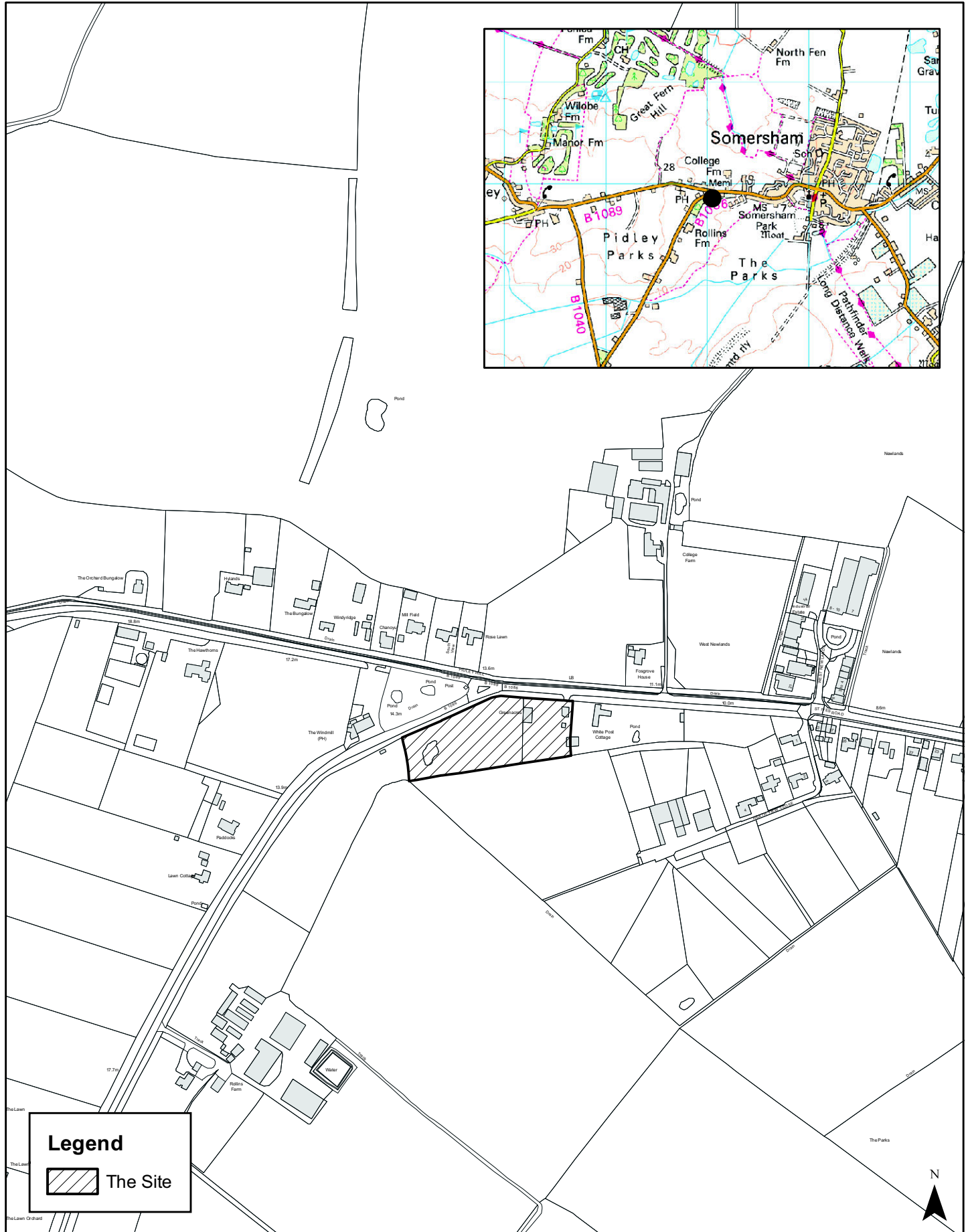
**Commenter Type:** Town or Parish Council  
**Stance:** Customer made comments in support of the Planning Application  
**Reasons for comment:**  
**Comments:** Councillors have no objection. The proposed dwelling is not much larger than the current building footprint and the design fits in with the street scene.

# Development Management Panel

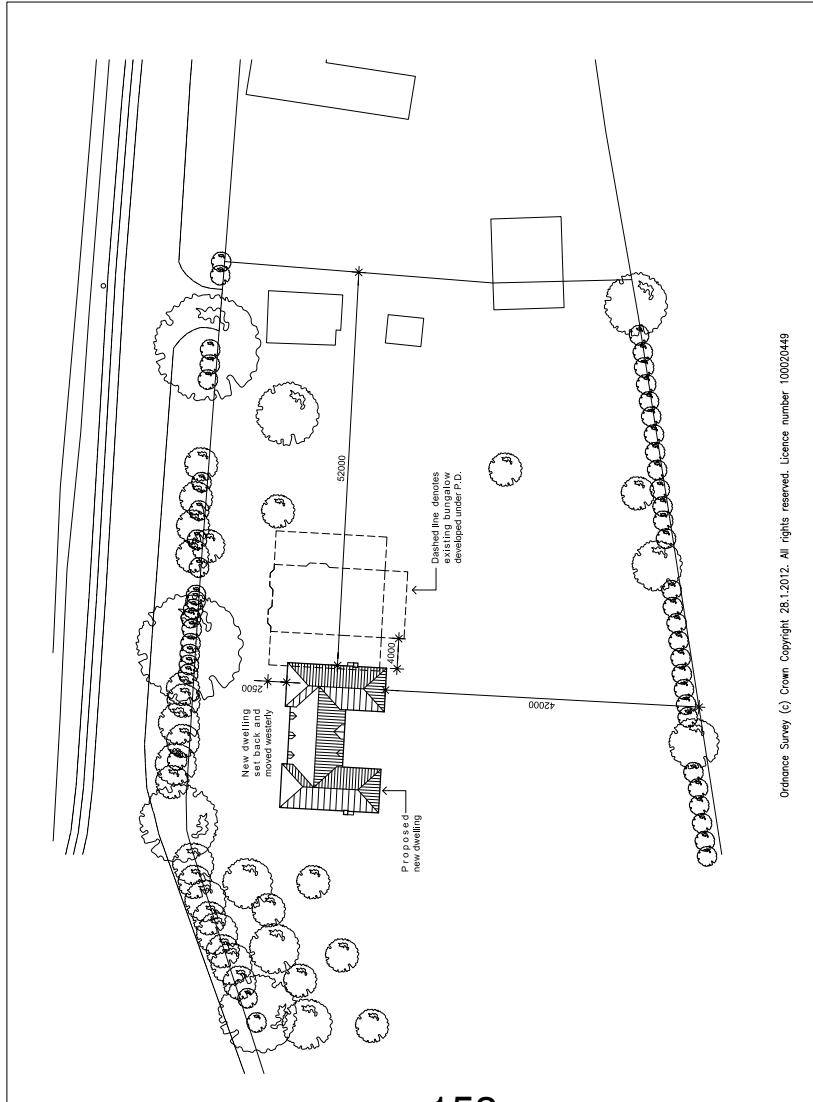
Application Ref: 1200299FUL

Location: Somersham

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Scale bars (in metres)		Scale
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1 2 3 4 5 6 7 8 9 10	1 2 3 4 5 6 7 8 9 10	1:100
5 10 15 20 25 30 35 40 45 50	10 20 30 40 50 60 70 80 90 100 110 120	1:500
10 20 30 40 50 60 70 80 90 100 110 120		1:1250



Block Plan 1:500



Location Plan 1:2500

Rev A - 19.3.12 - JG - Proposed new dwelling repositioned again  
 Rev A - 14.3.12 - JG - Proposed new dwelling repositioned and items added



1 Maselfield Avenue  
 Eaton Ford  
 St. Neots  
 Cambridgeshire  
 PE28 1JG  
 Tel / Fax: 01480 218440  
 Email: jghm@jlgdesign.co.uk

Project:  
**Extension to Greenacres,  
 St Ives Rd, Somersham,  
 St Ives, Cambs. PE28 3ER.**

Drawing:  
**Block Plan and Location Plan**

Drawn by:  
 JG

Scale:  
 1:500/1:2500

Date:  
 28.1.12

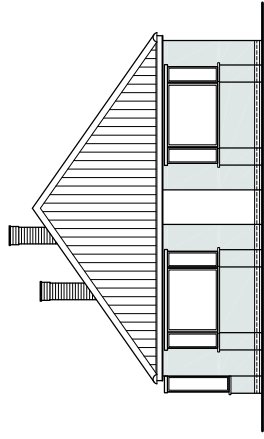
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**JLG254/NB/02**

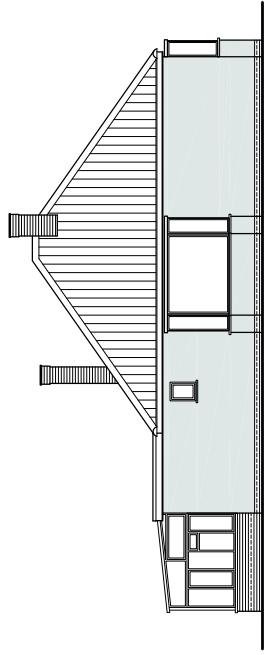
Revision  
**B**



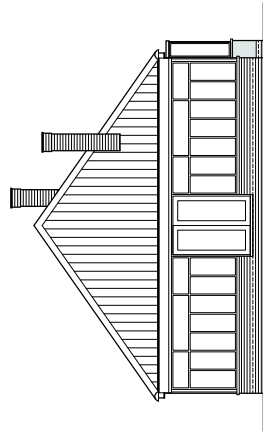
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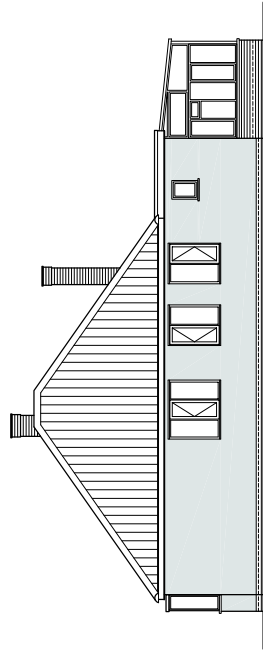
Front Elevation - Existing



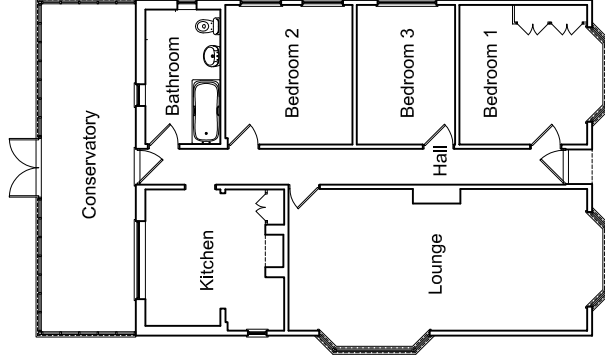
Side Elevation - Existing



Rear Elevation - Existing



Side Elevation - Existing



Floor Plan - Existing



1 Maselfield Avenue  
Eaton Ford  
St. Neots  
Cambridgeshire  
UK  
Tel./Fax: 01480 218440  
Email: jgh@jlgdesign.co.uk

Project:  
Extension to Greenacres,  
St Ives Rd, Somersham,  
St Ives, Cambs. PE28 3ER.

Drawing:  
Existing Bungalow  
Plans and Elevations

Drawn by:  
JG

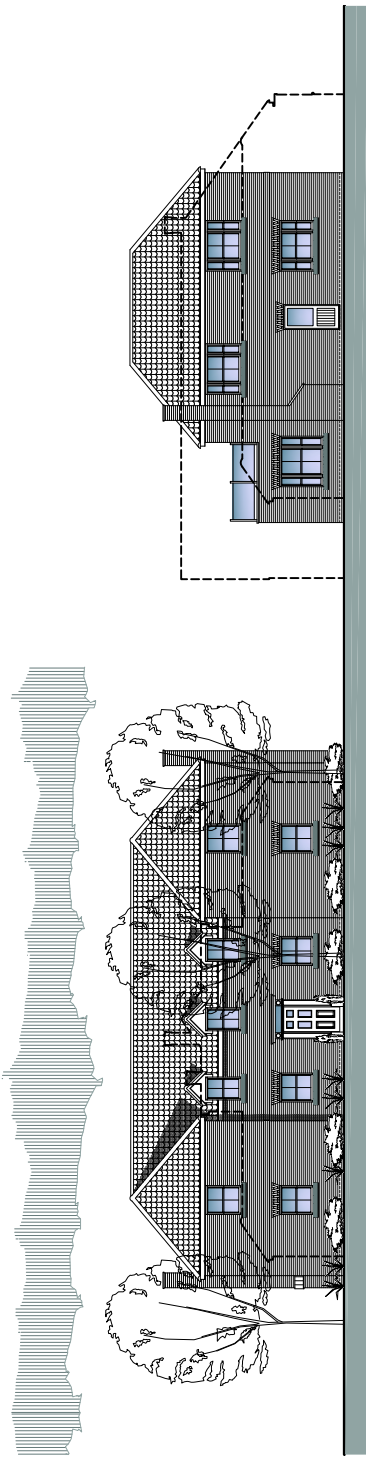
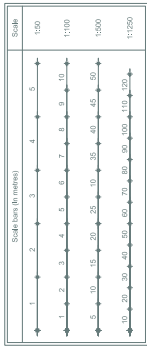
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Date:  
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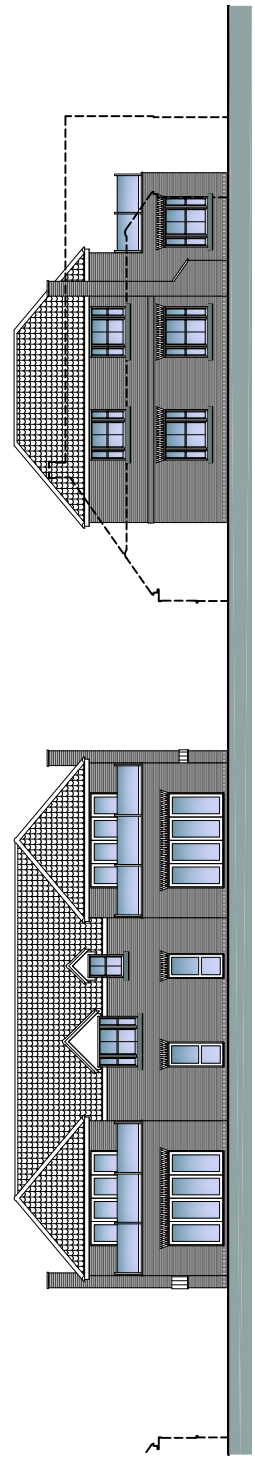
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JLG254/NB/03

Revision



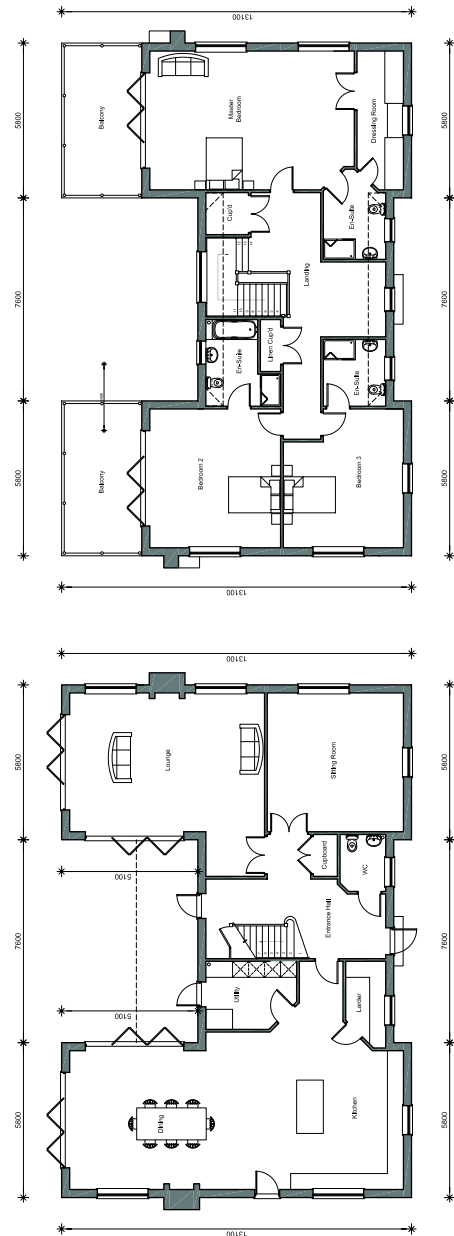
Front Elevation (North)

Side Elevation (East)



Rear Elevation (South)

Side Elevation (West)



Ground Floor Plan

First Floor Plan

1 Masfield Avenue  
Eaton Ford  
St. Neots  
Cambridgeshire  
PE19 7LS  
Tel / Fax: 01480 218440  
Email: john@jlgdesign.co.uk

Project:  
**Replacement Dwelling  
Greenacres St Ives Road  
Somersham Cambs PE28 3ER**

Drawing:  
**Plans and Elevations**

Drawn by:  
JG

Scale:  
1:100

Date:  
18.11.12

This drawing should not be scaled other than for planning purposes. All dimensions to be checked on site.

Drawing no:  
**JL G254/NB/01**

Revision



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**Case No:** 1102077FUL (FULL PLANNING APPLICATION)

**Proposal:** ERECTION OF REPLACEMENT ELECTRICAL SUB-STATION AND ASSOCIATED WORKS

**Location:** LAND ADJACENT 11 STOW ROAD

**Applicant:** AMBURY DEVELOPMENTS LTD

**Grid Ref:** 512796 272717

**Date of Registration:** 16.12.2011

**Parish:** SPALDWICK

---

## RECOMMENDATION - APPROVE

### 1.0 DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application relates to land to the north east of residential properties that front Stow Road and south of properties that are set further back in their plots. The site sits adjacent to the designated Conservation Area for Spaldwick.
- 1.2 The site has an extant permission for a single storey dwelling to be set back into the site, approved under planning reference 0803330FUL on the 9.4.09[a1], in line with the residential properties to the north.
- 1.3 This proposal seeks to relocate an existing sub station that is currently positioned close to the footpath edge. It is proposed to be positioned at the south east of the site, between the new bungalow and the parking spaces being provided, along the common boundary with No. 13 Stow Road.
- 1.4 The dimensioned plans submitted with the application confirm the substation will be 5.5m x 4.5m, and 2.4 metres to the highest point.

### 2.0 NATIONAL GUIDANCE

- 2.1 National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of

climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk>

### 3.0 PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **ENV6: "The Historic Environment"** - Within plans, policies, programmes and proposals local planning authorities and other agencies should identify, protect, conserve and, where appropriate, enhance the historic environment of the region including Conservation Areas and Listed Buildings.
- **ENV7: "Quality in the Built Environment"** - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

3.3 None relevant

3.4 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **En5: "Conservation Area Character"** - development within or directly affecting conservation areas will be required to preserve or enhance their character and appearance.
- **En25: "General Design Criteria"** - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.
- **H7: "Amenity"** - development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

3.5 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable



at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

3.6 None relevant

3.7 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1: "Sustainable development in Huntingdonshire"** - all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development.

3.8 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **C1: "Sustainable Design"** - development proposals should take account of the predicted impact of climate change over the expected lifetime of the development.
- **E3: "Heritage Assets"** - proposals which affect the District's heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.

#### **4.0 PLANNING HISTORY**

4.1 0703234FUL - erection of a dwelling and garage, refused on the 19.12.07

4.2 0803330FUL - erection of a dwelling, approved on the 9.4.09

4.3 Outline permission was granted for residential development to the rear of 5 - 11 Stow Road on the 13.12.89, this application has now expired.

#### **5.0 CONSULTATIONS**

5.1 **Spaldwick Parish Council: recommend refusal, (COPY ATTACHED)**

5.2 County Highways Engineer: No objection raised

5.3 HDC Environmental Health Dept: No objection raised

#### **6.0 REPRESENTATIONS**

6.1 Two letters of objection have been received in response to neighbour consultation. The objections raised can be summarised as:

- Highway safety
- Concern about future development of the land at the rear
- Health issues

- 15m's from patio and abutting boundary
- Access to the substation through neighbours property
- Noise
- Devaluation of property
- Previous application refused due to garage along this boundary
- Refers to document attached to objection about the location of substations close to children's play areas
- Concern about future development of the front of the site given better access
- Potential flooding issues
- Comments about justification about the impact upon the Conservation Area

## **7.0 SUMMARY OF ISSUES**

7.1 The main issues to consider here are whether the new proposed position of the substation will impact upon heritage assets (Conservation Area) and the character and appearance of the area, or have a detrimental impact upon the amenities of the neighbouring properties.

### **Impact upon the Heritage Assets**

7.2 The substation is currently located in a fairly prominent position in the street scene. Whilst it may not detract from the character and appearance of the area, or indeed the adjacent Conservation Area, its relocation to the rear of the site subject to this proposal would improve the current situation. The proposal is not considered to have any further impact upon the character of the area or the adjacent conservation area. As such the proposal does not conflict with Policies En5, and En25 of the Local Plan, ENV6 and ENV7 of the East of England Plan, Policies C1 and E3 of the Proposed Submission Development Management SPD.

### **Impact upon neighbour amenity:**

7.3 The comments received from the two objectors of this development raise concerns about a number of issues. However, the proposal needs to be assessed against Planning Policy, in this case Policy H7 of the Development Management DPD.

7.4 The comments regarding highway safety have been addressed below; however, the access is not being considered as part of this application and remains as the approved plans with the previous application under planning reference 0803330FUL. In any case the concerns appear to be more about future development of the land to the rear. The application as submitted is being considered here and any future potential development proposals will be considered on their own merits if and when submitted.

7.5 Electricity sub-stations are commonplace in residential areas and it has been confirmed by Environmental Health Officers that substations should not impact upon neighbours due to a continuous humming noise as suggested. If this were the case the Environmental Health Team would deal with any complaints under the statutory nuisance legislation.

- 7.6 Whilst the issues raised about health concerns have been fully considered, the Environment Health Officers have not objected to the proposal and are not aware of any statutory guidance in terms of distances between substations and domestic areas for health reasons. Any health related issues would need to be considered by the Health Protection Agency and can only be given very limited weight in the consideration of this application.
- 7.7 Having checked the previous application, which included a garage to the front of the bungalow now approved, it is clear from the reason for refusal; the application was not refused due to neighbour amenity, but concern about design and over development of the site. The substation is of a very modest size, particularly in height and the same reasons do not apply in this instance.
- 7.8 As suggested in the above paragraph, the substation will be a maximum height of 2.4 metres, which can be mostly screened by 2 metre fencing along the boundary. Due to the size and position of the substation, the application could not be refused in terms of causing undue overshadowing or being over bearing in nature.
- 7.9 Access to the substation is a private issue between the parties involved.
- 7.10 The application is considered not to conflict with the details as set out in Policy H7 of the Development Management DPD.
- 7.11 The agent has submitted details on the applicant's behalf which suggest if the application were made by the operators of the substation it would be permitted under Part 17, Class G of the Town and Country Planning (General Permitted Development) Order 1995. Having checked the document, it can be confirmed this is the case.

**Highway Safety:**

- 7.12 The County Highways engineer has not objected to the proposal as it is unlikely to have any impact due to the like for like replacement being considered.

Having regard to applicable national and local planning policies, and having taken all relevant consideration into account, it is recommended that planning permission should be approved in this instance.

**RECOMMENDATION – APPROVE, subject to the following conditions:**

- 02003 Time Limit (3yrs)
- Nonstandard - colour of substation

**CONTACT OFFICER:**

Enquiries about this report to **Linda Morse Development Management Officer 01480 388411**

**From:** davidstowell@onetel.com  
**Sent:** 27 January 2012 11:13  
**To:** DevelopmentControl  
**Subject:** Planning Application 1102077FUL  
Application Number: 1102077FUL Case Officer: Linda Morse

**Proposal:** Erection of replacement electrical sub-station and associated works

**Location:** Land Adjacent 11 Stow Road, Spaldwick

**Observations of Spaldwick Parish Council:** Spaldwick Parish Council recommends **refusal** for the following reasons:

- 1. Radiation Hazard** – There is some concern in published information that Electro Magnetic Fields produced by electricity sub-stations can be linked to serious health problems. This has led to the view that they should not be located close to living areas or areas where children are likely to play. The proposed location is adjacent to the boundary of the garden of no 11 where children may be playing in close proximity. It is also closer to the proposed new house (No 9) than the existing location is to the nearest property (No 11). The new location would therefore increase the risk of radiation hazards.
- 2. Access to site for required 24 hours a day** – the proposed location would normally be accessed for maintenance purposes and in an emergency via the private gravel drive serving No 11 and the proposed new house (No 9). This would inevitably disturb the occupants of these properties particularly in the night-time hours. Should access to the rear of the equipment be required the occupants of No 13 would also be inconvenienced. The current location is accessed directly from Stow Road and hence similar problems do not exist.
- 3.** The justification given by the applicant for moving the substation is that it would improve the street scene and allow for better visibility vehicle-to-vehicle and vehicle-to-pedestrian at the exit from the site into Stow Road. It is the Parish Council's view that similar improvements could be obtained by simply removing the low level wood fence on the two external sides of the triangular gravelled area in front of the door to the main substation enclosure. As well as addressing the neighbours' complaints, this would also remove the risk of disturbance which could be caused to the occupants of Nos.9 & 11 when access to the substation is required if it were to be located where the applicant proposes.

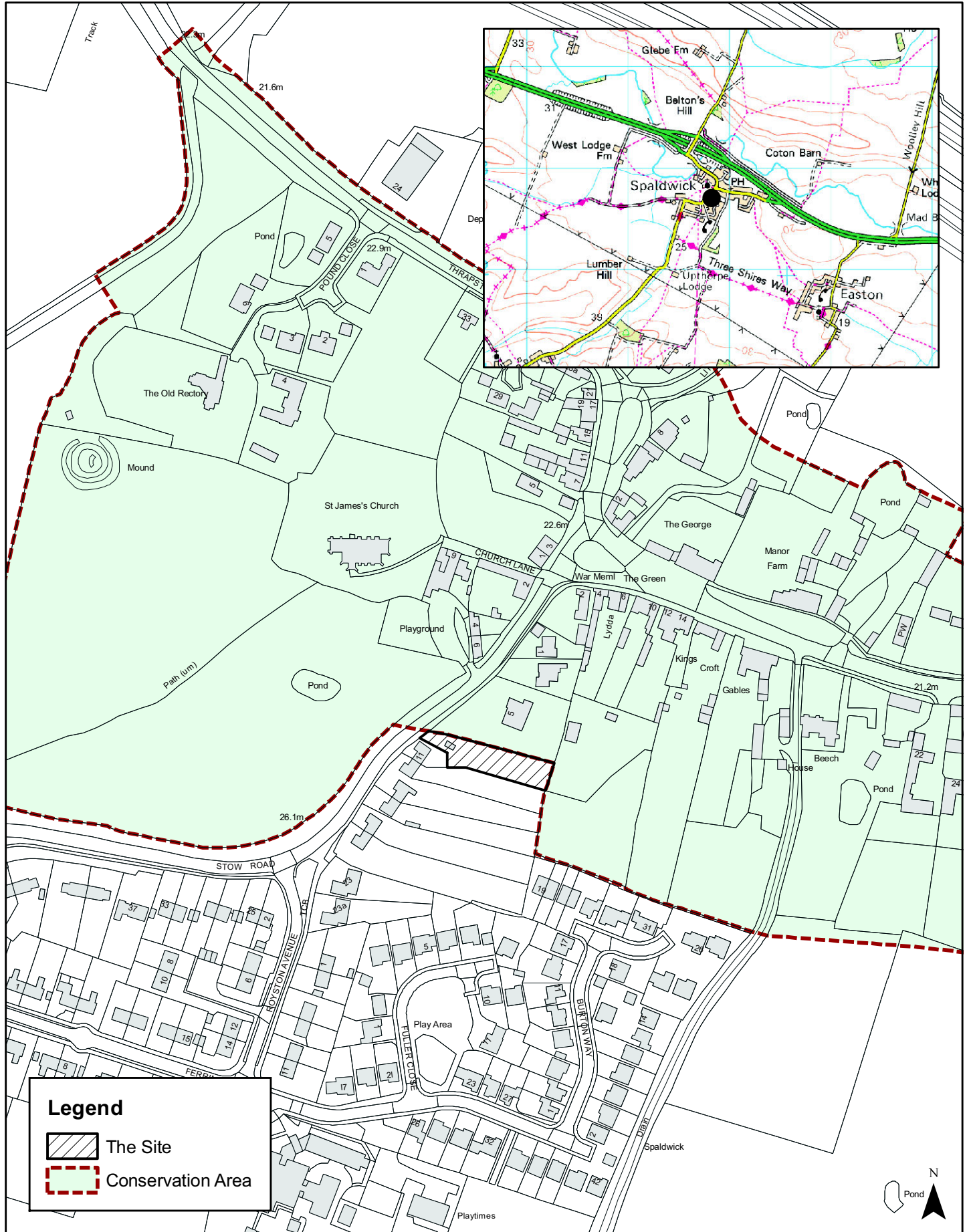
F D Stowell  
Clerk to Spaldwick Parish Council

# Development Management Panel

Application Ref: 1102077FUL

Location: Spaldwick

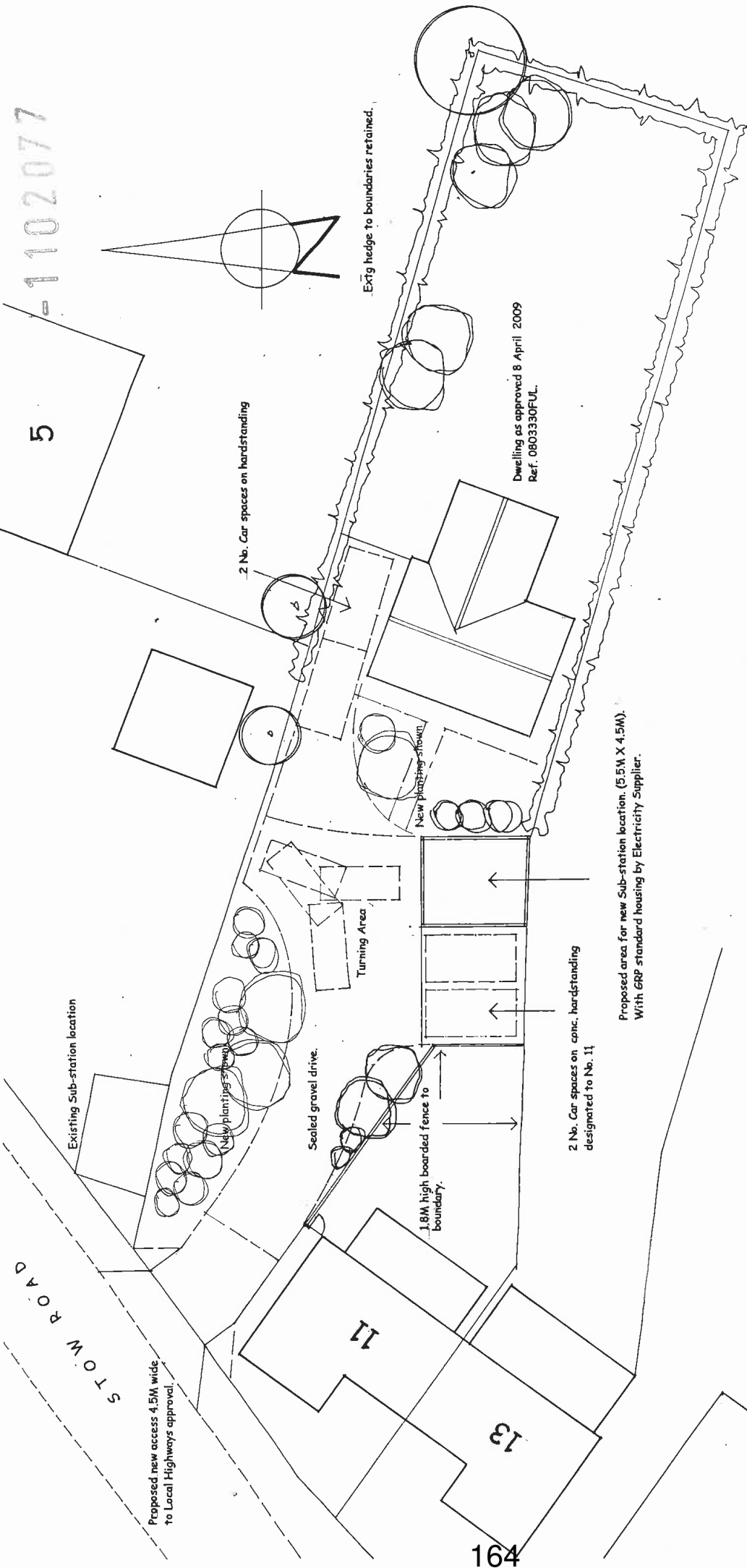
Reproduced from the Ordnance Survey Mapping with the permission of the Controller of Her Majesty's Stationery Office (C) Crown Copyright  
Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings. HDC 100022322



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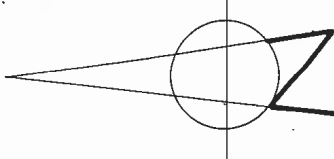


1102077



5

Existing Sub-station location



2 No. Car spaces on handstanding

Turning Area

New planting show

1.8M high boarded fence to boundary.

2 No. Car spaces on conc. handstanding designated to No. 11

Proposed area for new Sub-station location. (5.5M X 4.5M).  
With ERP standard housing by Electricity Supplier.

Exit hedge to boundaries retained.

Dwelling as approved 8 April 2009  
Ref. 0803330FUL.

STOW ROAD

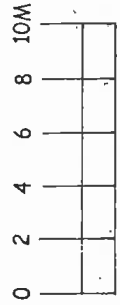
Proposed new access 4.5M wide  
to Local Highways approval.

11

13

164

# S I T E P L A N



SCALE 1/200.

PROPOSED RESITING OF SUB-STATION  
ADJACENT TO  
NO. 11, STOW ROAD, SPALDWICK,  
HUNTINGDON, CAMBS. PE28 0TE.

Drawing Title: PROPOSED SITE PLAN  
Date: DECEMBER 2011  
Drawing No. 1600/S-S/01  
Scale: 1/200 @ A3

HEADLEY STOKES ASSOCIATES LTD.  
Chartered Architects and Project Managers.  
Telephone: 01480 456507.

**SPECIFICATION NOTES**

ALL BUILDINGS WORK TO BE PROVIDED BY CLIENTS BE RECOVERY BUILDERS UNLESS EXPRESSLY STATED OTHERWISE.

**GENERAL NOTES**

- THE GRP NETWORKS SHALL BE INSTALLED TO THE TOP OF THE CONCRETE FOUNDATION OR TO THE TOP OF THE CONCRETE WALLS.
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**SUBSTATION LOCATION**

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**FOUNDATIONS, CONCRETE & REINFORCEMENT**

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**GRP ENCLOSURE**

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**COLOR**

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- STANDARD EXTERIOR COLOURS ARE BROWN GR400 OR DARK GREEN 14000 TO BS 480.
- STANDARD EXTERIOR COLOURS ARE BROWN GR400 OR DARK GREEN 14000 TO BS 480.

**GRAVING & GRATING SUPPORT**

- 3mm DEEP GALVANIZED GRP GRATING BY CARTRON - OPEN TYPE WITH GRIFFED SURFACE.
- 3mm DEEP GALVANIZED GRP GRATING BY CARTRON - OPEN TYPE WITH GRIFFED SURFACE.
- 3mm DEEP GALVANIZED GRP GRATING BY CARTRON - OPEN TYPE WITH GRIFFED SURFACE.
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- 3mm DEEP GALVANIZED GRP GRATING BY CARTRON - OPEN TYPE WITH GRIFFED SURFACE.

**ASSEMBLY**

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**DICTION**

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**CABLE ACCESS**

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**EARTHING**

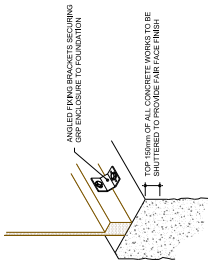
- A DEDICATED EARTHING SYSTEM IS REQUIRED TO BE SUPPLIED, INSTALLED AND TESTED BY THE DEVELOPER.
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- A DEDICATED EARTHING SYSTEM IS REQUIRED TO BE SUPPLIED, INSTALLED AND TESTED BY THE DEVELOPER.

**NOTES FOR UK POWER NETWORKS CONTRACTORS**

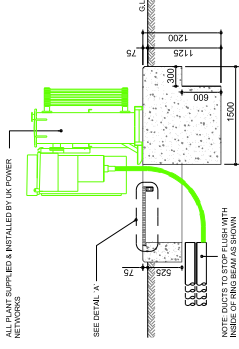
- ALL WORK SHALL BE IN ACCORDANCE WITH THE UK POWER NETWORKS SPECIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE UK POWER NETWORKS SPECIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE UK POWER NETWORKS SPECIFICATION.

**GRATING**

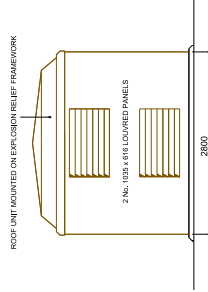
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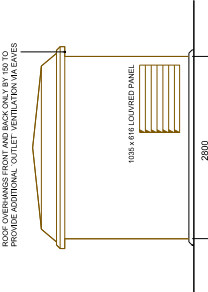
FIXING OF GRP TO FOUNDATION DETAIL



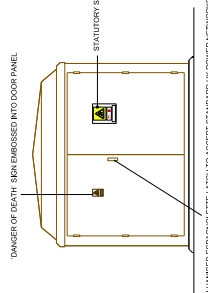
SECTION B-B SHOWING DUCT ENTRIES



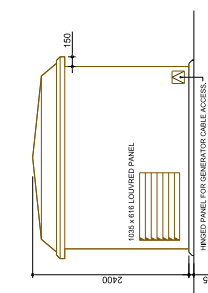
REAR ELEVATION



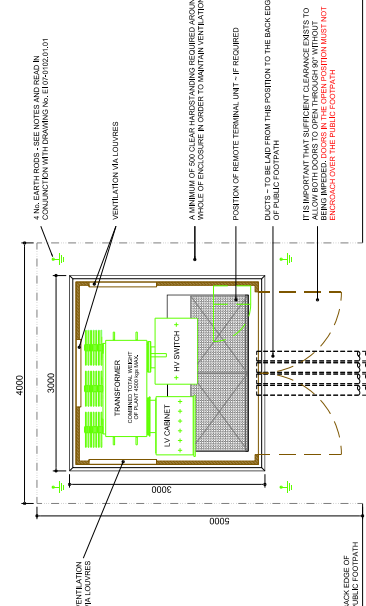
RIGHT HAND SIDE ELEVATION



FRONT ELEVATION



LEFT HAND SIDE ELEVATION



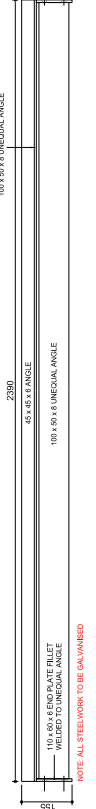
FOUNDATION - PLAN VIEW



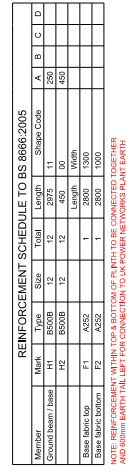
DETAIL A

END PLATE DETAIL 1

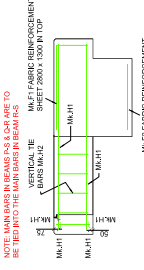
END PLATE DETAIL 2



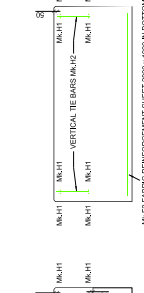
FRONT VIEW OF GRATING SUPPORT MEMBER



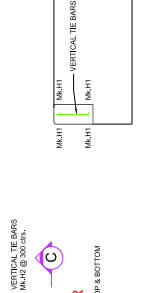
SECTION A-A



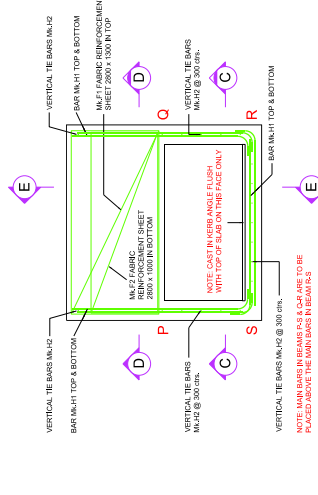
SECTION B-B



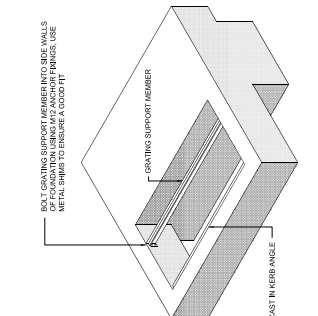
SECTION C-C



SECTION D-D



FOUNDATION - PLAN VIEW



FOUNDATION - ISOMETRIC VIEW

**SPECIFICATION NOTES.**

THE EARTHING SYSTEM IS TO BE PROVIDED BY THE CLIENTS DEVELOPER / EARTHING CONTRACTOR UNLESS EXPRESSLY STATED OTHERWISE.

**GENERAL NOTES:**

- THIS DRAWING IS NOT TO BE SCALED AND NO VARIATION TO THE STATED DIMENSIONS OR MATERIALS SPECIFIED WILL BE PERMITTED WITHOUT PRIOR WRITTEN CONSENT FROM UK POWER NETWORKS.
- THE RUNNING OF HEATING, GAS, TELECOMS, WATER AND OTHER SERVICES THROUGH OR UNDER THE SUBSTATION AREA WILL BE NOT PERMITTED.

**IMPORTANT:**

- THE EARTHING SYSTEM IS SUITABLE FOR UNIT SUBSTATIONS WITH TRANSFORMERS UP TO 1000kVA WITH A COMBINED HV/LV EARTH POINT CONNECTION WITH UK POWER NETWORKS DRAWING NO. EI07-0102.01

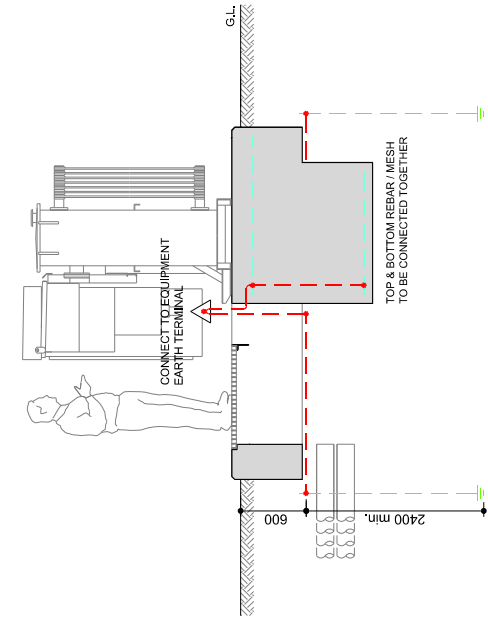
**EARTHING SYSTEM.**

- WHEREVER POSSIBLE THE EARTHING SYSTEM SHOULD BE INSTALLED IN CONCRETE. THE EARTH ELECTRODES ARE CORRECTLY POSITIONED PRIOR TO PLACEMENT OF CONCRETE.
- THE REINFORCEMENT WITHIN THE PLINTH MUST BE BONDED TO THE EARTHING SYSTEM USING PROPRIETARY CLAMPS. LEAVE 600mm MIN. TAILS ABOVE PLINTH LEVEL FOR UK POWER NETWORKS TO MAKE THE BOTTOM REBAR / MESH TO BE CONNECTED TOGETHER.
- ALL EARTH RODS TO BE SUPPLIED, INSTALLED AND TESTED BY DEVELOPERS EARTHING CONTRACTOR. SEE PLAN FOR LOCATIONS.
- INSTALLATIONS REQUIRING MORE THAN 1 EARTH ROD POSITIONS ARE TO BE DISCUSSED AND AGREED WITH THE UK POWER NETWORKS PROJECT DESIGNER.
- THE EARTHING SYSTEM MUST HAVE A MAXIMUM RESISTANCE OF 1 OHM - CERTIFICATION CONFIRMING THE RESISTANCE OF THE EARTHING SYSTEMS IS TO BE PROVIDED TO UK POWER NETWORKS PRIOR TO PLANT INSTALLATION.
- BARE COPPER CABLES AND COPPER CLAD RODS ARE TO BE USED AS EARTH ELECTRODE.
- FOR EARTH FAULT LEVELS UP TO 8kA USE 70mm<sup>2</sup> BARE STRANDED COPPER CABLE OR 25mm x 3mm COPPER TAPE.
- FOR EARTH FAULT LEVELS UP TO 12kA USE 120mm<sup>2</sup> OR 2 x 70mm<sup>2</sup> BARE COPPER CABLES OR 28mm x 4mm COPPER TAPE.
- FOR EARTH FAULT LEVELS UP TO 15kA USE 120mm<sup>2</sup> OR 2 x 70mm<sup>2</sup> BARE COPPER CABLES OR 28mm x 6mm COPPER TAPE.
- EARTH RODS TO BE COPPER CLAD WITH APPROPRIATE FITTINGS, DRIVEN TO A MINIMUM DEPTH OF 2.4m.

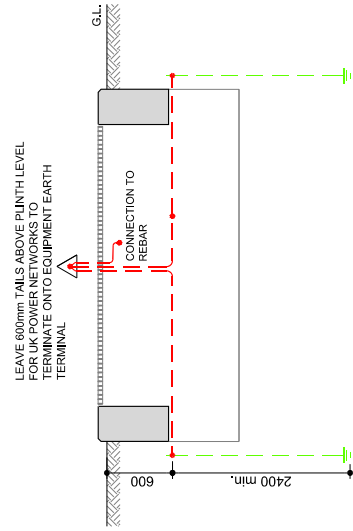
**NOTES FOR UK POWER NETWORKS CONTRACTORS.**

**EARTHING.**

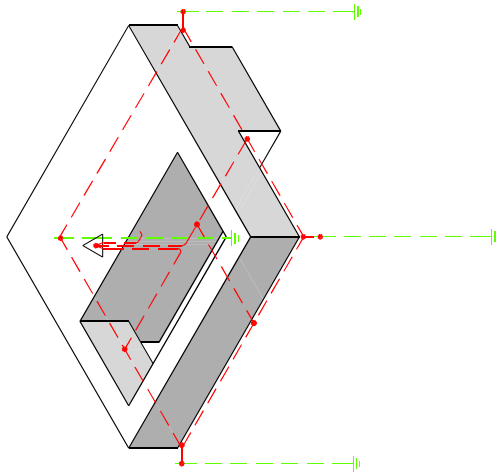
- CONNECT EARTH ELECTRODES (BY OTHERS) TO THE UK POWER NETWORKS EARTHING SYSTEM IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE UK POWER NETWORKS EARTHING CONSTRUCTION MANUAL - SECTION 3.



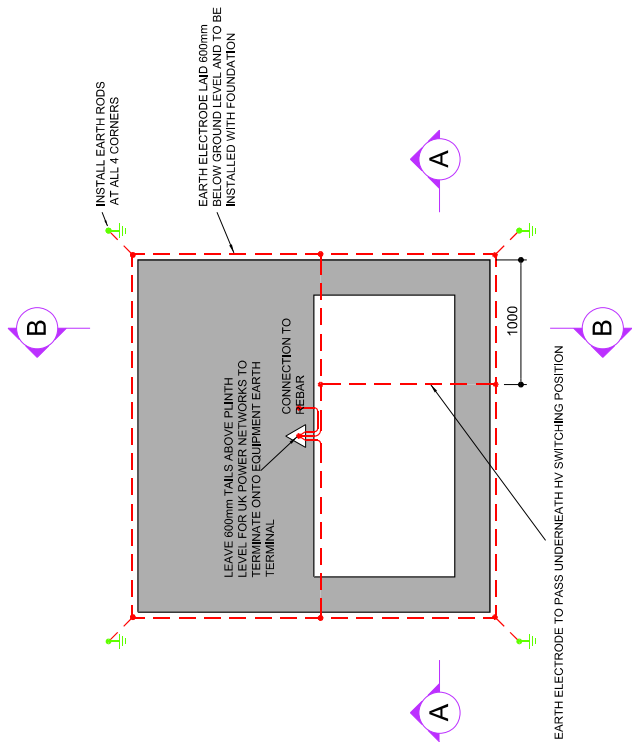
**SECTION B-B**



**SECTION A-A**



**ISOMETRIC VIEW SHOWING EARTH ELECTRODES & RODS**



**GRP PLINTH FOUNDATION PLAN**

Version	Date	Description	Checked	Drawn	Approved	Design/Drawn
2	11/08/09	ORIGINAL				



TITLE  
**STANDARD EARTHING DETAIL FOR GRP PLINTH FOUNDATION WITH COMBINED HV & LV EARTHING**

SCALE NTS @A1 APPROVED  
 Version  
 EI07-0102.01.01 2

SITE SECONDARY SUBSTATION STANDARDS

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**Case No:** 1200129FUL (FULL PLANNING APPLICATION)

**Proposal:** ERECTION OF DWELLING WITH DETACHED DOUBLE GARAGE AND ALTERATION TO EXISTING PROPERTY TO INCLUDE PORCH LINK AND SINGLE GARAGE

**Location:** LAND AT AND INCLUDING 116 ST NEOTS ROAD EATON FORD

**Applicant:** MR R PAYNE

**Grid Ref:** 517485 259808

**Date of Registration:** 23.01.2012

**Parish:** ST NEOTS

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## RECOMMENDATION - REFUSAL

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The application site comprises a detached single-storey dwelling with flat roof extensions, constructed of a golden buff brick and concrete tiles to the roof and white uPVC windows/doors, and its garden. It is situated within a prominent location at the junction of St Neots Road and River Road. The site boundaries are defined by a vertical boarding 1.8m high fence lowering to a 1.2m high fence (heights all approx.) and a 3m hedge along the boundary with St Neots Road.
- 1.2 The site is adjacent to the St Neots Conservation Area; and within the Environment Agency's Flood Zone 2 and part of Flood Zone 3.
- 1.3 The proposal is for the erection of a dwelling with detached double garage; and alteration to the existing property to include a porch link and single garage. To enable development it is necessary to demolish the existing flat roof element of the dwelling that comprises a garage, study, kitchen, and w.c. The resulting accesses would be abutting and the proposed garages would be adjoining.

### 2. NATIONAL GUIDANCE

- 2.1 National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and

enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

### 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **ENV6:** “The Historic Environment” – within plans, policies, programmes and proposals local planning authorities and other agencies should identify, protect, conserve and where appropriate, enhance the historic environment of the region including Conservation Areas and Listed Buildings.
- **ENV7:** “Quality in the Built Environment” - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.
- **T14:** “Parking” – controls to manage transport demand and influencing travel change alongside measures to improve public transport accessibility, walking and cycling should be encouraged. Maximum parking standards should be applied to new residential development.
- **WAT4:** “Flood Risk Management” – River flooding is a significant risk in parts. The priorities are to defend existing properties from flooding and locate new development where there is little or no flooding.

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **H31:** “Residential privacy and amenity standards” – Indicates that new dwellings will only be permitted where appropriate standards of privacy can be maintained and adequate parking provided.



- **H32:** "Sub-division of large curtilages" states support will be offered only where the resultant dwelling and its curtilage are of a size and form sympathetic to the locality.
- **H33:** "Sub-division of large curtilages affecting protected buildings or features" states the subdivision of curtilages will not be supported where development will adversely affect the qualities of a Conservation Area or affect trees worthy of protection.
- **En5:** "Conservation Area Character" - development within or directly affecting conservation areas will be required to preserve or enhance their character and appearance.
- **En9:** "Conservation Areas" - development should not impair open spaces, trees, street scenes and views into and out of Conservation Areas.
- **En18:** "Protection of countryside features" – Offers protection for important site features including trees, woodlands, hedges and meadowland.
- **En20:** "Landscaping Scheme". - Wherever appropriate a development will be subject to the conditions requiring the execution of a landscaping scheme.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

- **HL5:** "Quality and Density of Development" - sets out the criteria to take into account in assessing whether a proposal represents a good design and layout.
- **HL6:** "Housing Density" - indicates that housing development shall be at a density of 30-50 dwellings per hectare
- **HL10:** "Housing Provision" – in the district should reflect the full range of the local community's needs by ensuring a choice in new housing.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** "Sustainable development in Huntingdonshire" – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and

economic issues. All aspects will be considered including design, implementation and function of development.

- **CS3:** “The Settlement Hierarchy” – Identifies St Neots as a Market Town in which development schemes of all scales may be appropriate in built up areas.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **C5:** “Flood Risk and Water Management” – development proposals should include suitable flood protection / mitigation to not increase risk of flooding elsewhere. Sustainable drainage systems should be used where technically feasible. There should be no adverse impact on or risk to quantity or quality of water resources.
- **E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E2:** “Built-Up Areas” – development will be limited to within the built-up areas of the settlements identified in the Core Strategy policy CS3, in order to protect the surrounding countryside and to promote wider sustainability objectives.
- **E3:** “Heritage Assets” – proposals which affect the District’s heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.
- **E5:** “Trees, Woodland and Hedgerows” – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value, including ancient woodland and veteran trees. They should wherever possible be incorporated effectively within the landscape elements of the scheme.
- **E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.
- **H1:** “Efficient Use of Housing Land” – housing developments will optimise density taking account of the nature of the development site, character of its surroundings and need to accommodate other uses and residential amenities such as open space and parking areas.
- **H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

3.7 St Neots Conservation Area Character Statement

3.8 SPD – Huntingdonshire Design Guide 2007

3.9 SPD - Huntingdonshire Landscape and Townscape Assessment 2007

#### **4. PLANNING HISTORY**

4.1 0602153FUL – planning permission granted for the erection of a conservatory

#### **5. CONSULTATIONS**

5.1 **St Neots Town Council – recommend approval (COPY ATTACHED)**

5.2 The Committee commented on the standard of plans submitted for this application and felt that, in general, plans for larger properties were not extensive enough

5.3 Environment Agency – no objections

5.4 CCC Highways – no objections

#### **6. REPRESENTATIONS**

6.1 One third party representation received objecting to loss of privacy and access.

#### **7. SUMMARY OF ISSUES**

7.1 The main issues to be considered are: the principle of residential development at the site; consideration of the resultant relationship with neighbouring properties; impact of the proposal on the street scene and character and appearance of the area; highways and flooding.

##### **Principle of development:**

7.2 St Neots is defined as a Market Town where the principle of residential development on appropriate sites is supported.

##### **Design / Impact on the street scene and character and appearance of the area:**

7.3 Policy H32 states that the sub-division of large curtilages will only be allowed where the resultant dwelling and its curtilage will be sympathetic to the locality.

7.4 Policy HL5 specifically indicates that planning permission will only be granted if the new development respects the townscape and landscape of the wider locality, including the local pattern of streets and spaces, and maintains open spaces, important gaps in development, mature trees and other vegetation that contributes to the quality of the local environment.

7.5 Policy E1 states that all development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal by avoiding the

introduction of harmful development due to poor siting, scale, form, colour or use of materials.

- 7.6 This is a residential area with a variety of housing types of varying curtilages, although the general rule of oblong plots with the dwellings situated centrally or further forward within the plot seems to predominate. However No116 St Neots Road is uncommon in that it is a wide corner plot (almost as wide as it is deep) in a prominent location at the road junction of St Neots Road and River Road, occupied by a single-storey dwelling, resulting in a sense of openness and space where the site fronts onto River Road, but with a fence and high hedge above where the site fronts St Neots Road and at the junction.
- 7.7 It is considered that the introduction of the proposed dwelling in this location would be uncharacteristic of the area; and would be harmful to the street scene as it would sit significantly forward of Nos 118 – 124 St Neots Road curtailing the general feeling of spaciousness when viewing the site and beyond (through to St Neots Road) from Brook Street and River Road; and conversely when viewing the site from St Neots Road and beyond (through to River Road and Brook Street) resulting in an incongruous feature in the street scene and a cramped appearance. This would have a detrimental impact on the character and appearance of the adjacent Conservation Area as the proposed development would impair the views into and out of the Conservation Area. The development would also detract from the character and appearance of the area and the setting of the Conservation Area as the northeast facing side elevation in particular would be readily visible along St Neots Road and, with eaves of the height proposed and long dormers on a relatively shallow roof, the dwelling does not meet the high standards of design required by local policy and the NPPF. The SPD – Huntingdonshire Design Guide states that ‘developments should aim to make good use of a site.....however this objective must be balanced with the need to respect the character of the area. The layout and form of developments should harmonise with their surroundings’.
- 7.8 The existing dwelling has a ridge height of 5m, with eaves and flat roof elements of 2.6m high. The proposed dwelling has a ridge height of 6m with eaves 3.25m high.
- 7.9 The proposed garage is proposed as 9.2m long and ridge height of 4.25m.
- 7.10 To facilitate development it is proposed to demolish the existing flat roof element of the dwelling comprising the garage, study, kitchen and w.c., and replace with a triple garage and significant amounts of hard landscaping, which would dominate the southern half of the site and would be the focus when approaching the site from Brook Road. The SPD – Huntingdonshire Design Guide states that ‘access and parking arrangements should avoid cars and garages becoming unduly prominent in the street scene. Situating parking spaces and garages back from the building frontage can help to lessen their visual impact.....garages are intended to be ancillary accommodation for a vehicle and should not become unduly prominent features, for instance, if garages are grouped in blocks position them so that the doors are not visible from the street’.

- 7.11 It is considered therefore that the proposal is contrary to policies ENV6 and ENV7 of the Regional Spatial Strategy 2008, H32, En5, En9 and En25 of the Huntingdonshire Local Plan 1995, CS1 of the Core Strategy 2009, E1 and E3 of the Huntingdonshire DPD Proposed Submission 2010.

**Amenity:**

- 7.12 Due to the orientation of the plot in relation to the adjoining property and those within the vicinity; as there are no first floor windows on the rear elevation / south-east elevation of the proposed dwelling except a roof light it is considered that it is unlikely that there would be any undue loss of amenity to No2 River Road or the property immediately to the north-east on St Neots Road. As there is a road between the proposed dwelling and those on the opposite side of St Neots Road it is considered that the first floor windows on the front elevation / north-west elevation will not have a significantly detrimental impact upon neighbour amenity.
- 7.13 The proposal does not therefore conflict with policies H31 of the Huntingdonshire Local Plan 1995, CS1 of the Core Strategy 2009 and H7 of the Huntingdonshire DPD Proposed Submission 2010.

**Access to the site / highways issues:**

- 7.14 It is considered that the proposed access arrangements have been contrived in an attempt to facilitate development. The development will have no internal turning for the proposed dwelling and would allow for vehicles to reverse onto the side road, River Road. This occurs with other dwellings in this road and in itself is not a reason for refusal in this location.
- 7.15 Residential dwellings in St Neots town centre should provide a maximum car parking provision of up to 1 space per dwelling, whilst all other locations require residential dwellings to provide up to 2 car space per dwelling. As the site is out of town centre it should provide the latter. On the application form, the total proposed (including spaces to be retained) is shown to be 10. This far exceeds the maximum required for the proposed and existing dwellings but is not a reason for refusal in this location.

**Flood:**

- 7.16 Whilst the land is within the Environment Agency's Flood Zone 2 and part Zone 3 it is in the SFRA 1:1000 year flood extent and 1:100 year with climate change allowance flood extent. In line with current government advice on Standing Advice with regard to flooding issues, the Local Planning Authority is obliged to respond on behalf of the Environment Agency using a Flood Risk Matrix.
- 7.17 The applicant submitted a Flood Risk Assessment in accordance with the now cancelled PPS25. The Environment Agency reviewed the Flood Risk Assessment (FRA) as submitted and has no objection to the proposed development.

**Conclusion:**



- 7.18 The proposed development is considered not to be compliant with relevant national and local planning policy as it:  
- would result in a cramped form of development that would have an unacceptable impact on the street scene and character of the area
- 7.19 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is recommended that planning permission should be refused in this instance.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**8. RECOMMENDATION – REFUSE** for the following reason:

- 8.1 The proposed dwelling and garages would result in the loss of openness, spaciousness and visual amenity at the prominent location at St Neots Road and River Road and would result in an unsympathetic cramped form of development that would have an unduly adverse impact on the character and appearance of the locality, the street scene and the adjacent Conservation Area. The northeast facing side elevation in particular would be readily visible along St Neots Road and, with eaves of the height proposed and long dormers on a relatively shallow roof, the dwelling is not of the necessary high standards of design. The proposal is therefore contrary to Policies ENV6 and ENV7 of the Regional Spatial Strategy 2008; En25, En9, En5, H32 of the Huntingdonshire Local Plan 1995; HL5 of the Huntingdonshire Local Plan Alteration 2002; E1 and E3 of the Huntingdonshire LDF Development Management DPD Proposed Submission 2010; CS1 of the Huntingdonshire Local Development Framework Submission Core Strategy 2008; guidance in the SPD – Huntingdonshire Design Guide and the requirements of the NPPF.

**CONTACT OFFICER:**

Enquiries about this report to **Ms Dallas Owen Development Management Officer 01480 388468**

St Neots Town Council  
Planning Applications to be Considered  
By the Planning Committee on Thursday 1 March 2012

Plan No	Reference No (Date of Registration)	Development, Location and Applicant	Type of Application and Constraints	Town Council Recommendations
1	1200129FUL 9 February 2012	Erection of dwelling with detached double garage and alteration to existing property to include a porch link and a single garage. Land at and including 116 St Neots Road, Eaton Ford, St Neots. Mr R Payne	Planning FULL	Recommend <b>APPROVAL</b> . Proposed by Cllr Gardener, seconded by Cllr Mrs Ruck. The Committee commented on the standard of plans submitted for this application and felt that, in general, plans for larger properties were not extensive enough.
2	1200113TELD 8 February 2012	Installation of DSLAM cabinet Verge north of 103 Crosshall Road BT Openreach	Planning TELDET	<b>DEFERRED</b> . Due to the inconsistencies between the photograph and map supplied for Item 4, the Committee requested that the exact siting of these cabinets is confirmed before the next meeting.
3	1200111FUL 8 February 2012	Single storey front and rear extensions to house 58 Potton Road, Eynesbury, St Neots, PE19 2NN Mr Lyon	Planning FULL	Recommend <b>APPROVAL</b> . Proposed by Cllr Wainwright, seconded by Cllr Ruck Cllr Usher abstained.

St Neots Town Council  
Planning Applications to be Considered  
By the Planning Committee on Thursday 1 March 2012

Plan No	Reference No (Date of Registration)	Development, Location and Applicant	Type of Application and Constraints	Town Council Recommendations
4	1200108TELDET 8 February 2012	Installation of DSLAM equipment cabinet Verge west of 158 St Neots Road, St Neots BT Openreach	Planning TELDET	<b>DEFERRED.</b> Proposed by Cllr Mrs Ruck, seconded by Cllr Usher A resident of a nearby property was present. He had received documents which were inconsistent. A photograph supplied showed the cabinet outside his house and the map showed it 4 houses up the road. Town Clerk to obtain clarification of siting of Items 2 & 4 before the next meeting.
5	1200160FUL 13 February 2012	Erection of 2m high close boarded fence with gate to front boundary 4 Sandwich Road, St Neots, PE19 1TY	Planning FULL	Recommend <b>APPROVAL.</b> Proposed by Cllr Gardener, seconded by Cllr Wainwright. Cllr Ruck abstained.
6	1200099FUL 15 February 2012	Fit utility at back of garage, cover in walkway between house and garage 19 St Anslem Place, St Neots, PE19 1AP Mr J Howell	Planning FULL	Recommend <b>APPROVAL.</b> Proposed by Cllr Usher, seconded by Cllr Mrs Ruck, voting unanimous.
7	1200183REP 15 February 2012	Replacement of planning permission 0900056FUL for erection of boundary wall with balustrade and gate to replace existing 1 Bushmead Road, Eaton Socon, St Neots, PE19 8BP Mr D Johnson	Planning REP	Recommend <b>APPROVAL.</b> Proposed by Cllr Ruck, seconded by Cllr Gardener, voting unanimous.

St Neots Town Council  
Planning Applications to be Considered  
By the Planning Committee on Thursday 1 March 2012

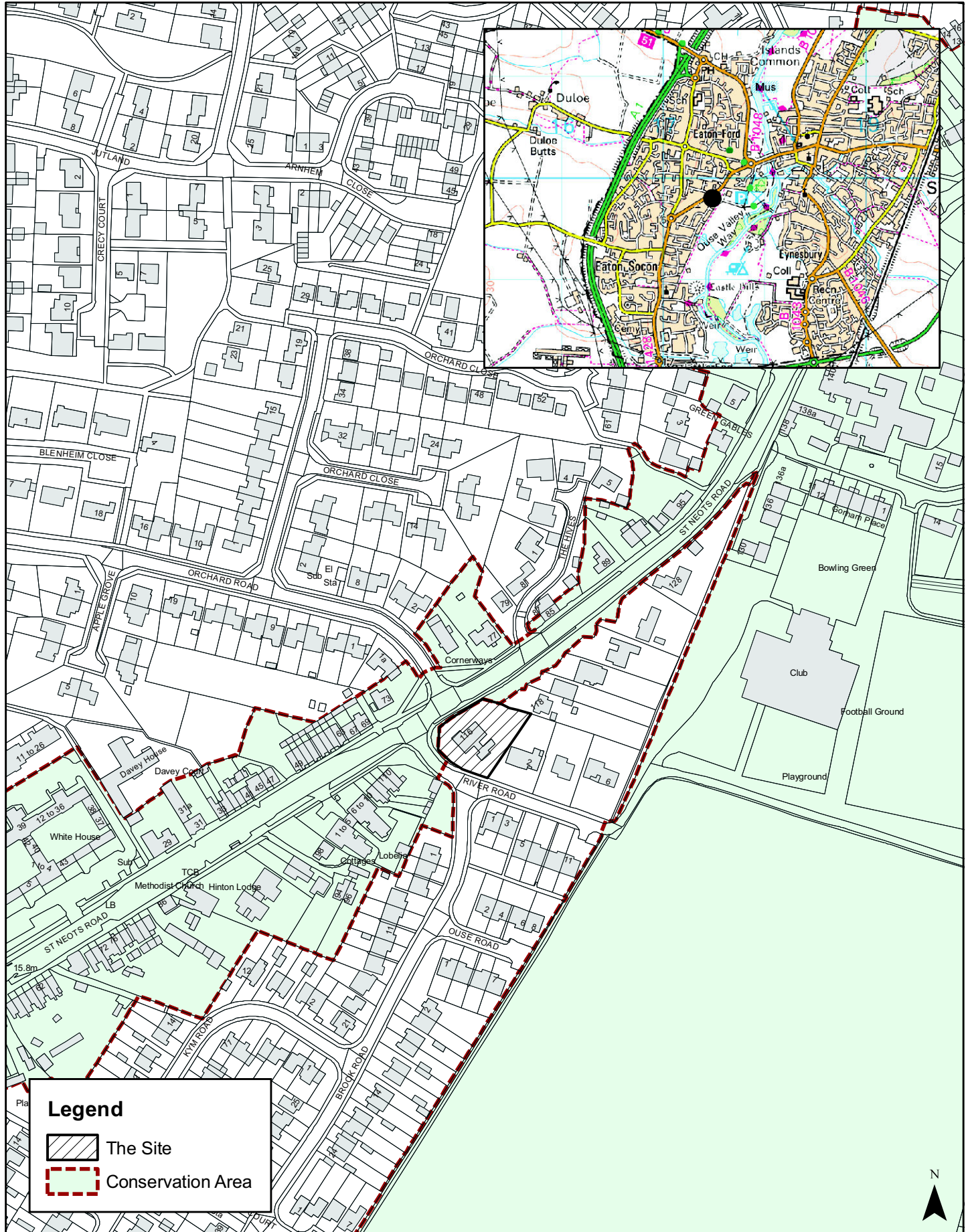
Plan No	Reference No (Date of Registration)	Development, Location and Applicant	Type of Application and Constraints	Town Council Recommendations
8	1200214REC 15 February 2012	Replacement of 0900057CAC for removal of boundary wall, gates and hedge 1 Bushmead Road, Eaton Socon, St Neots, PE19 8BP Mr D Johnson	Planning REC	Recommend <b>APPROVAL</b> . Proposed by Cllr Ruck, seconded by Cllr Gardener, voting unanimous.

# Development Management Panel

Application Ref: 1200129FUL

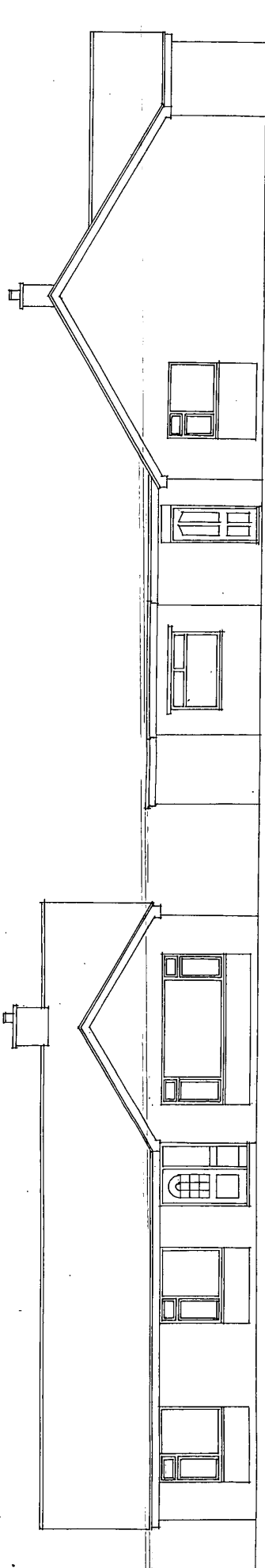
Location: St Neots

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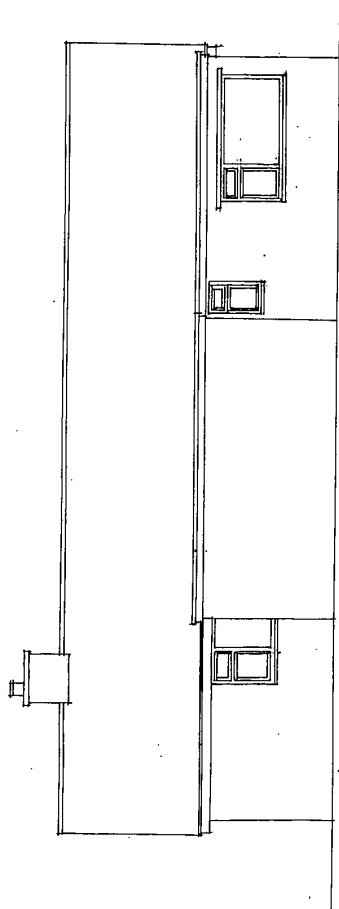
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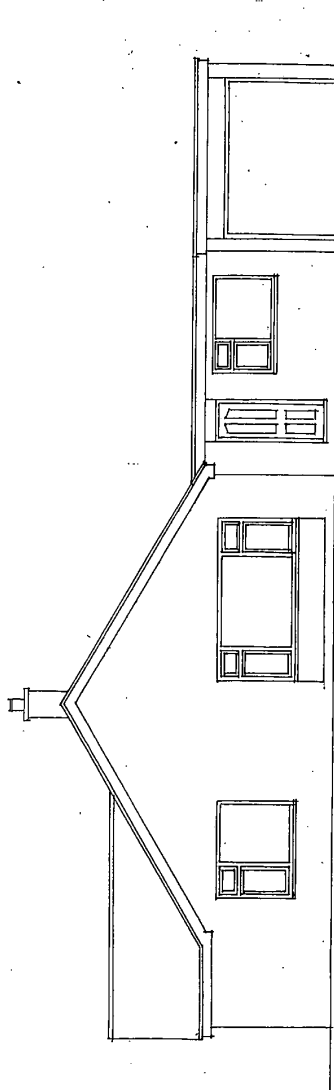


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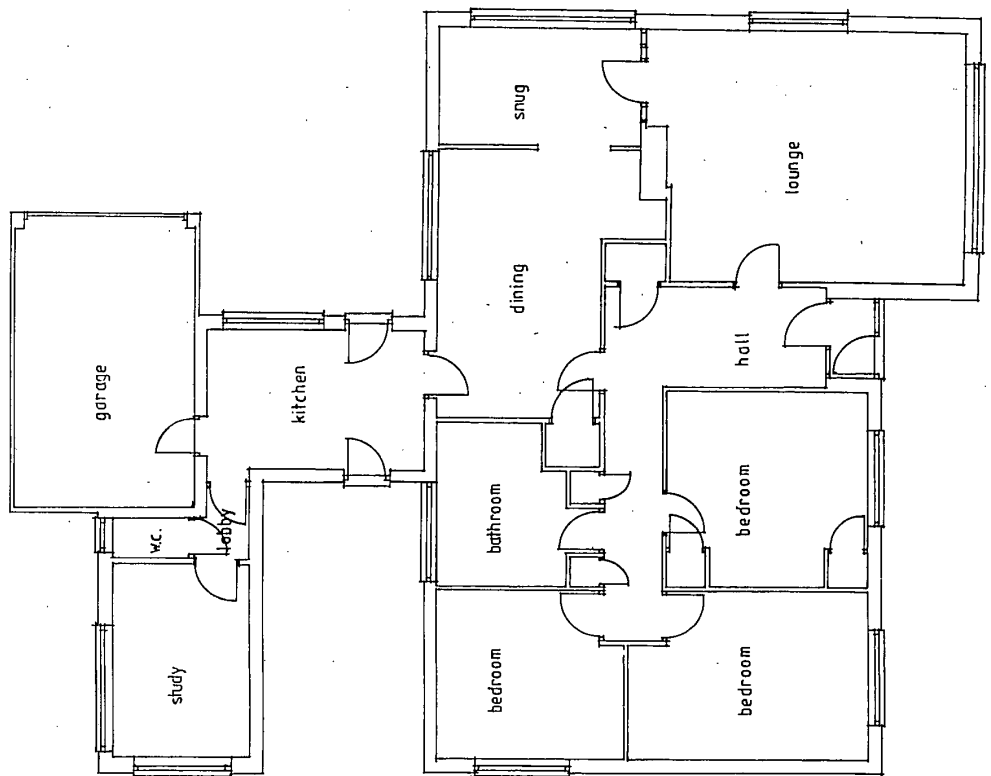
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S.E. ELEVATION EXISTING

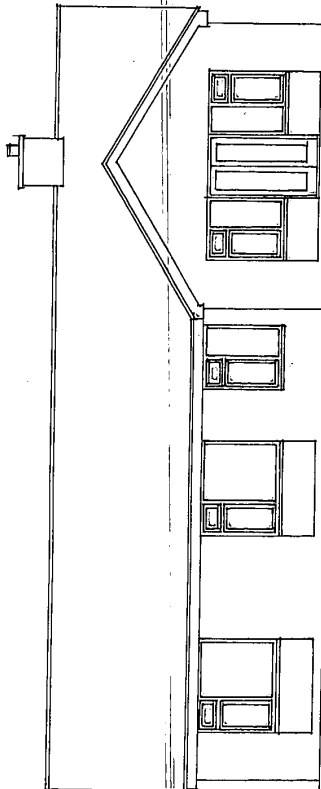


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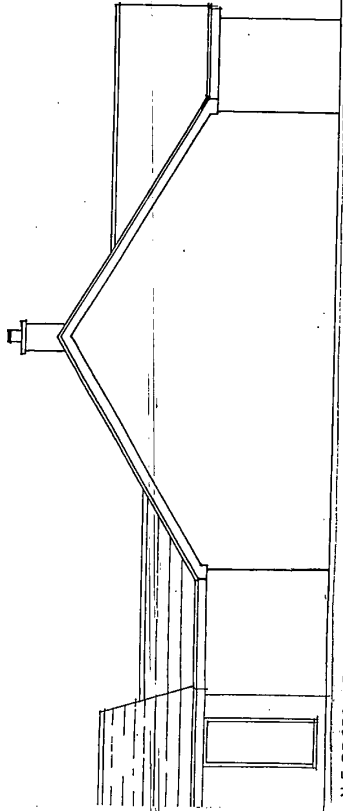


FLOOR PLAN EXISTING

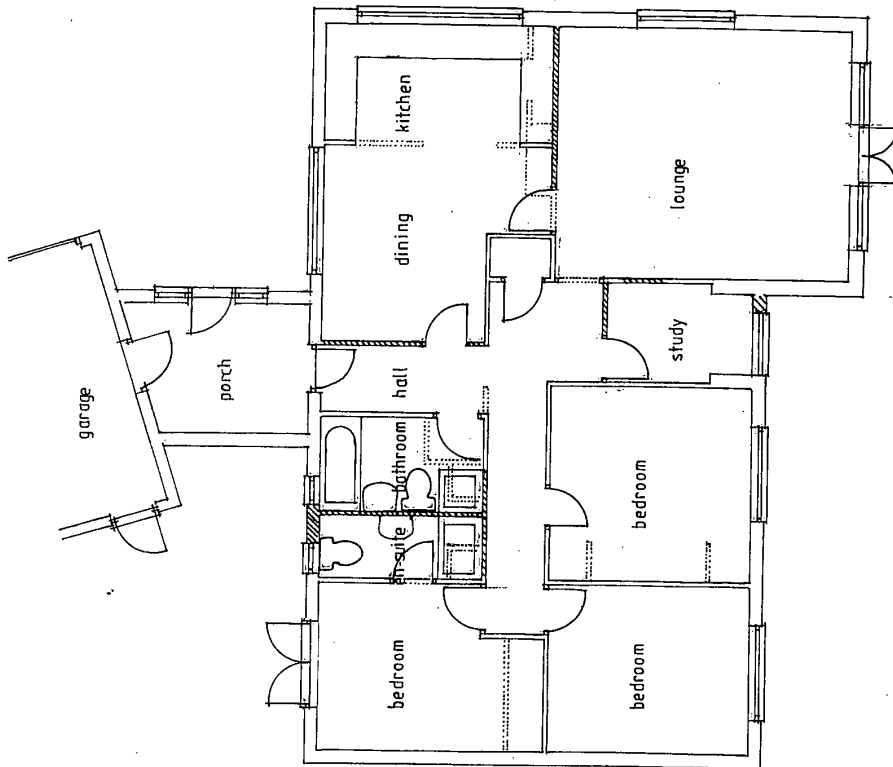
PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING BUNGALOW AND ERECTION OF CHALET BUNGALOW LAND 116 ST NEOTS ROAD, EATON FORD, CAMBS EXISTING FLOOR PLAN AND ELEVATIONS CLIENT: MR R PAYNE SCALE: 1:100 DATE: JANUARY 2012 NO. 11/20/9A NWV LTD, P O BOX 580, HUNTINGDON, CAMBS PE29 9EB



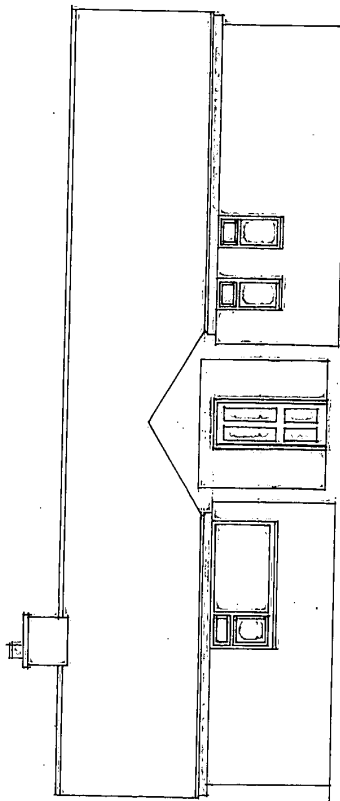
N.W. ELEVATION PROPOSED



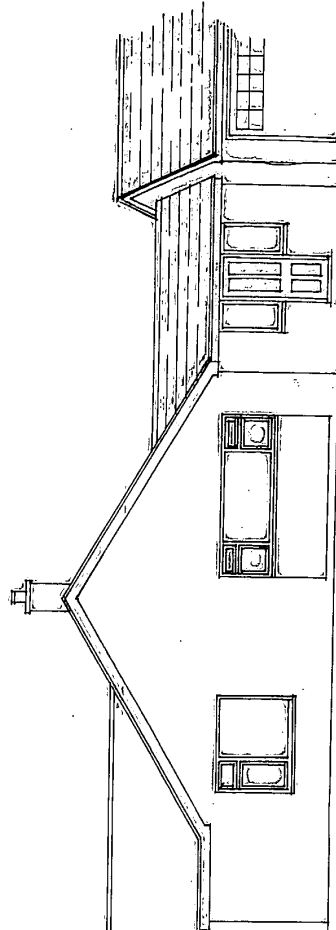
N.E. PROPOSED



FLOOR PLAN PROPOSED OF EXISTING  
119-826 sq. m.  
1290 sq. ft.

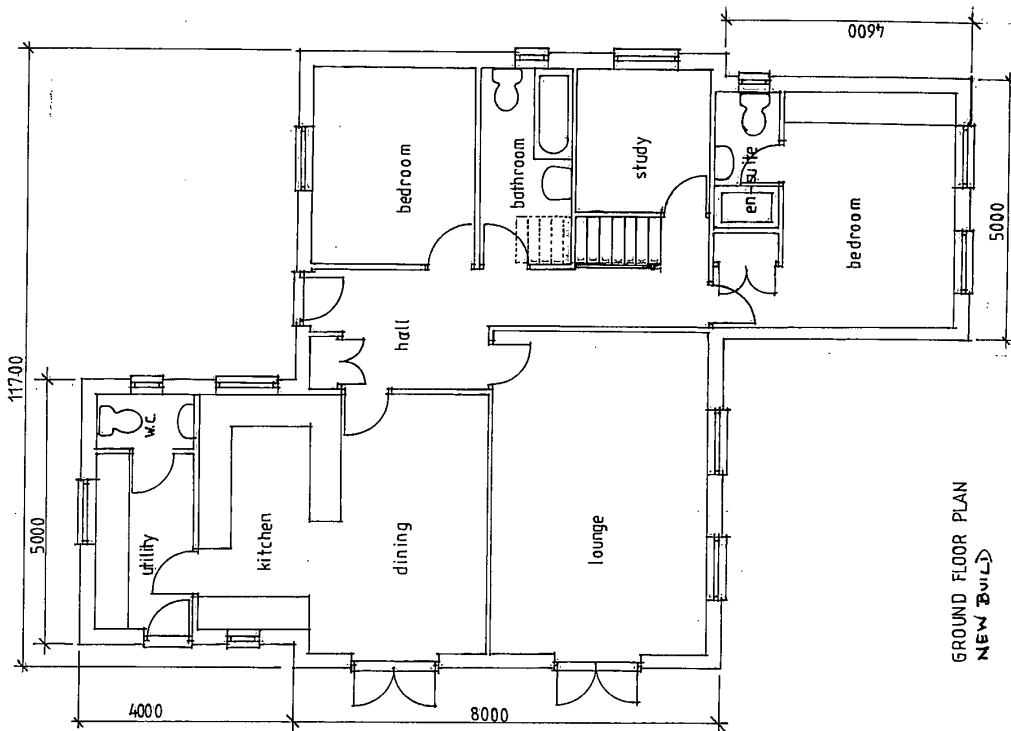


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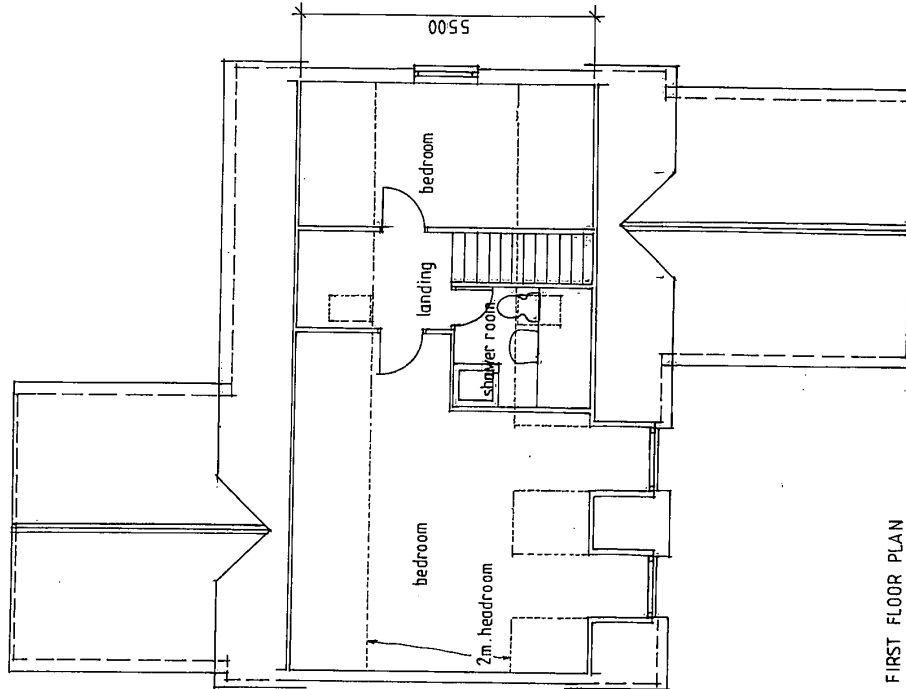


S.W. PROPOSED

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING  
BUNGALOW AND ERECTION OF CHALET BUNGALOW  
LAND 116 ST NEETS ROAD, EATON FORD, CAMBS  
PROPOSED FLOOR PLAN AND ELEVATIONS  
CLIENT: MR R PAYNE  
SCALE: 1:100  
DATE: JANUARY 2012  
NO. 11/20/8A REV 1  
NWV LTD, P O BOX 580, HUNTINGDON, CAMBS PE29 9FR

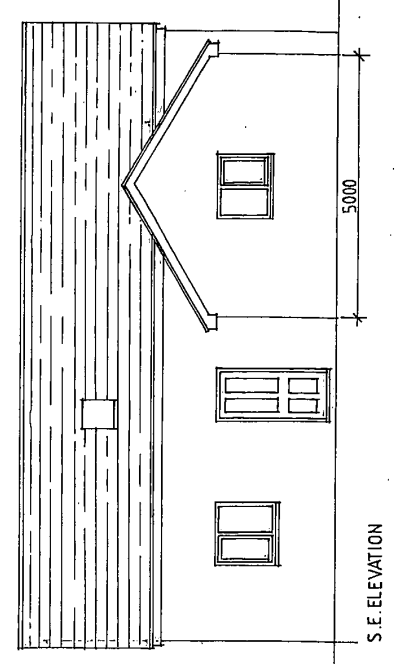
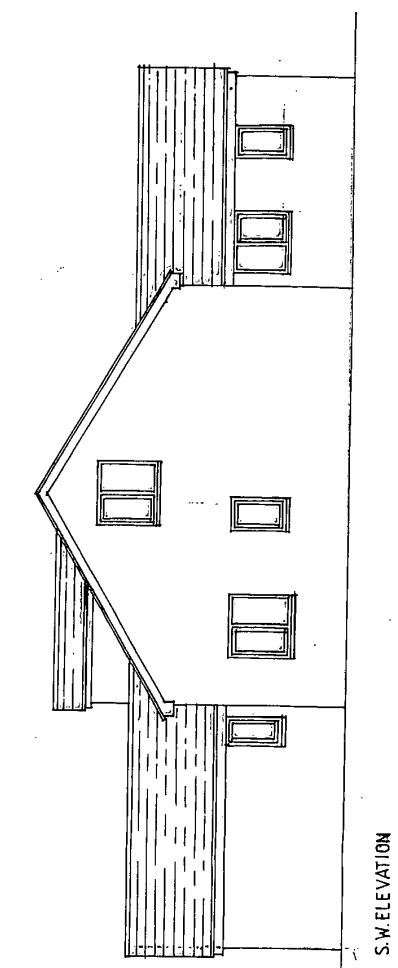
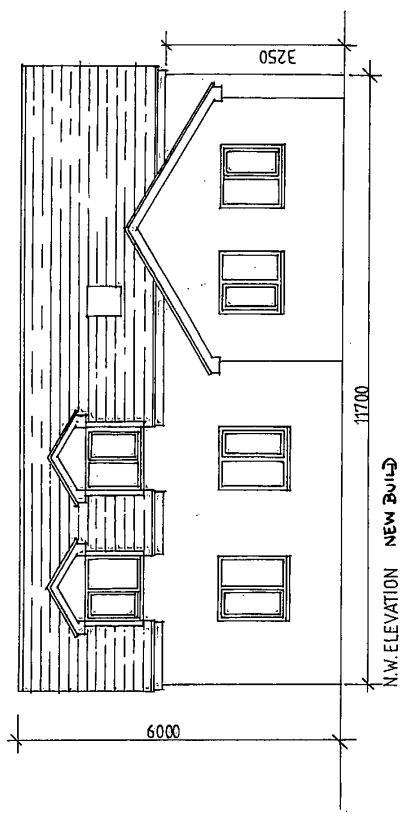
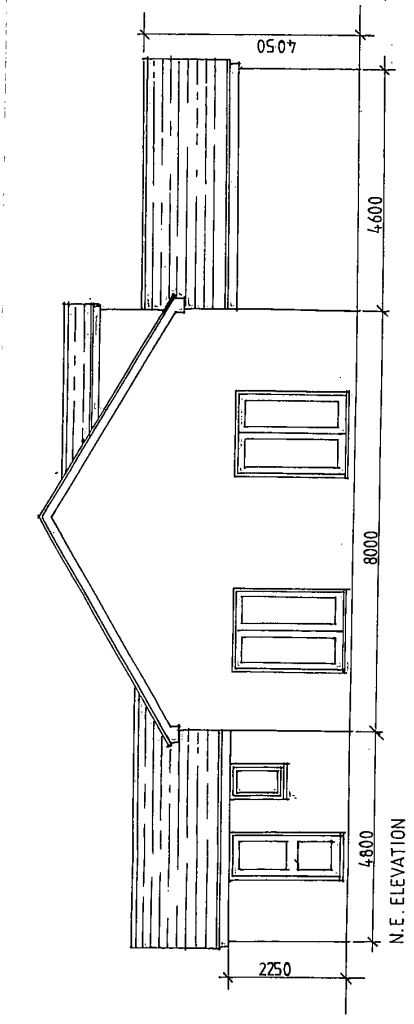


GROUND FLOOR PLAN  
NEW BUILD

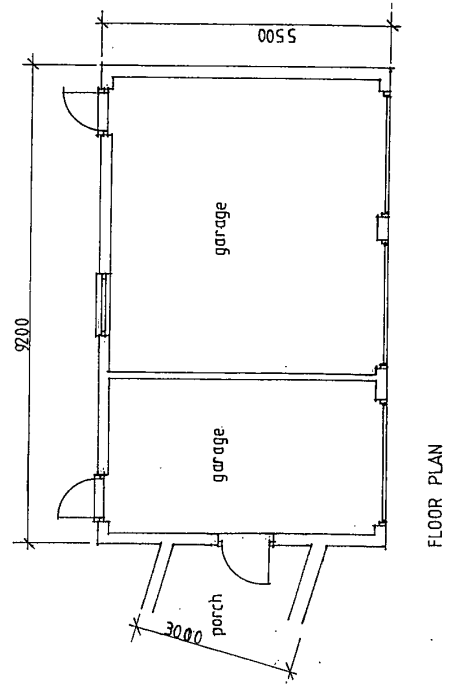
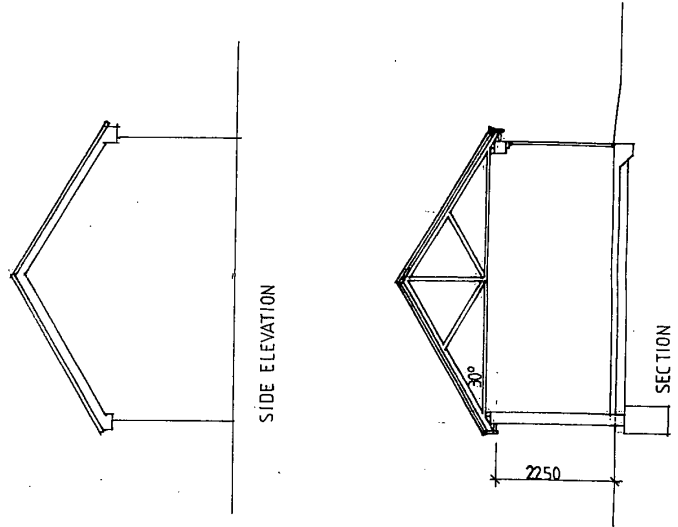
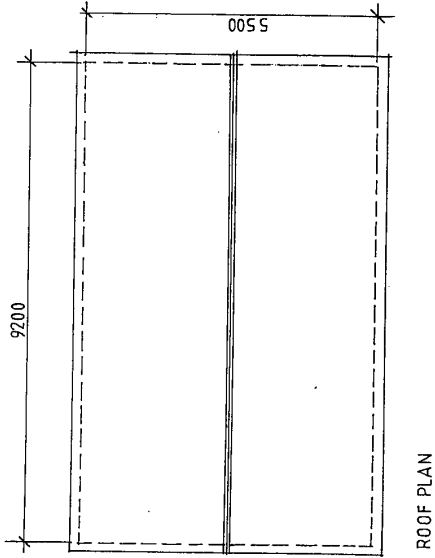
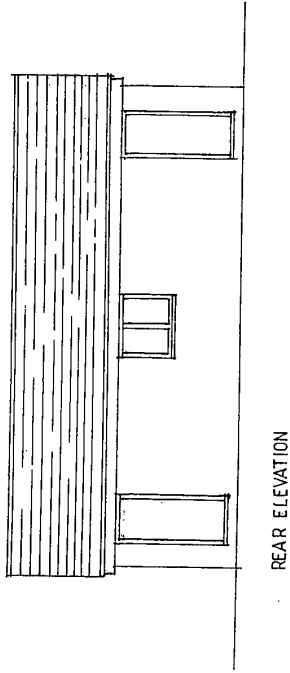
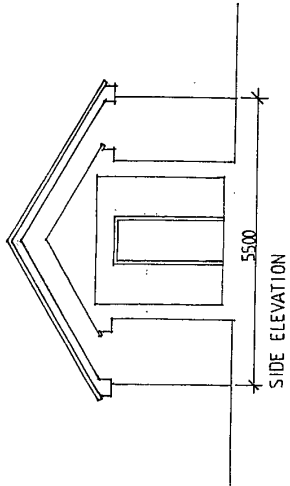
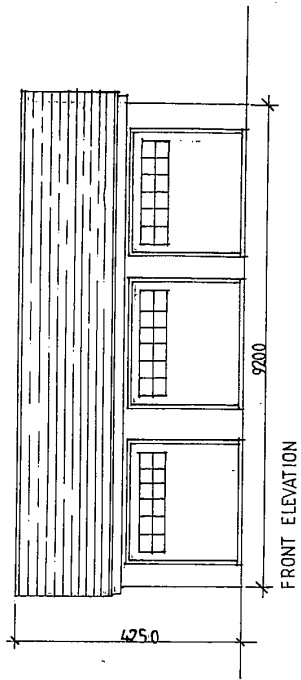


FIRST FLOOR PLAN

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING  
BUNGALOW AND ERECTION OF CHALET BUNGALOW  
LAND 116 ST NEOTS ROAD, EATON FORD, CAMBS  
GROUND AND FIRST FLOOR PLANS  
CLIENT: MR R PAYNE  
SCALE: 1:100  
DATE: JANUARY 2012  
NO. 11/20/4A  
NWV LTD. P O BOX 580 HINTINGDON CAMBS PE20 0BB

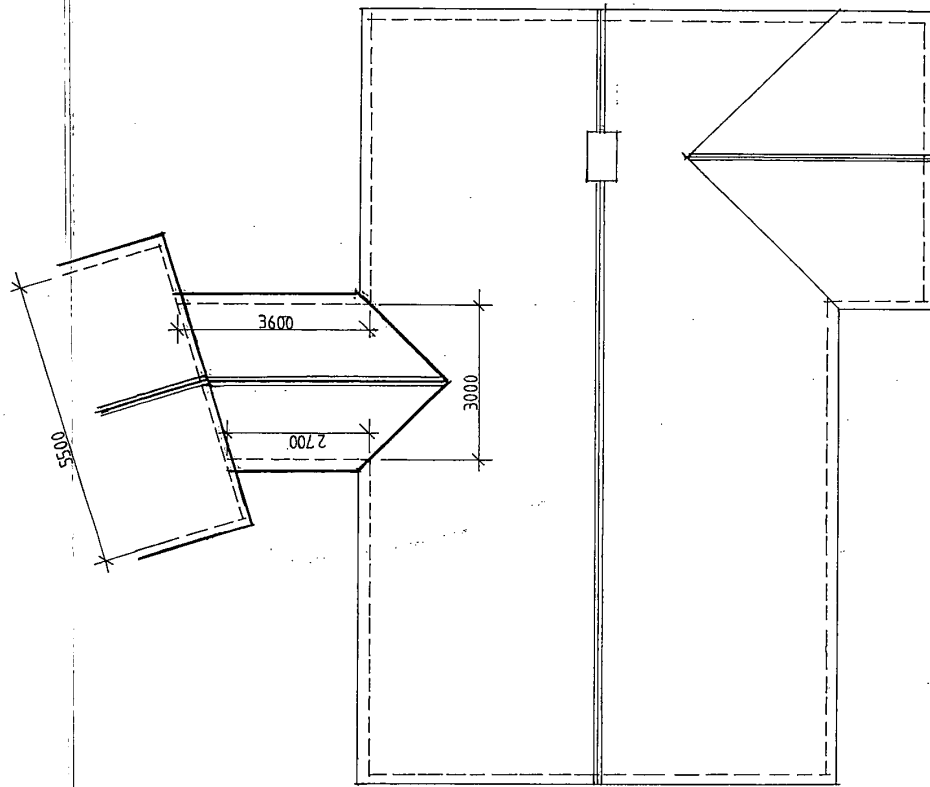


PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING  
 BUNGALOW AND ERECTION OF CHALET BUNGALOW  
 LAND 116 ST NEOTS ROAD, EATON FORD, CAMBS  
 ALL ELEVATIONS  
 CLIENT: MR R PAYNE  
 SCALE: 1:100  
 DATE: JANUARY 2012  
 NO. 11/20/5A  
 NWV LTD, P O BOX 580, HUNTINGDON CAMBS PE29 9FR

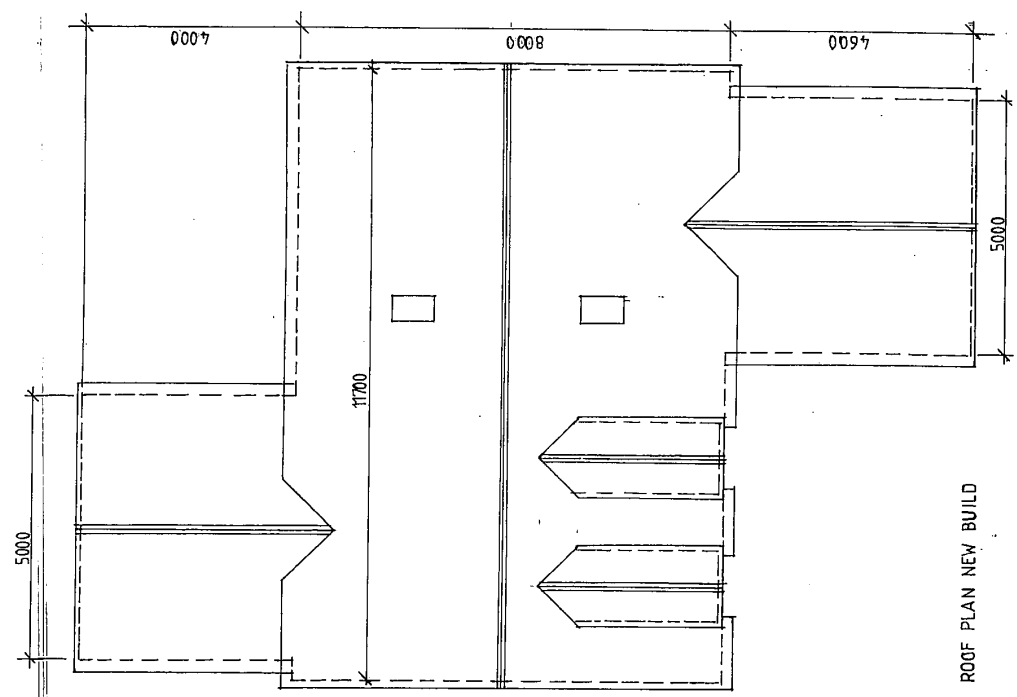


PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING  
 BUNGALOW AND ERECTION OF CHALET BUNGALOW  
 LAND 116 ST NEETS ROAD, EATON FORD, CAMBS  
 GARAGE ELEVATIONS, FLOOR PLAN AND SECTION  
 CLIENT: MR R PAYNE  
 SCALE: 1:100  
 DATE: JANUARY 2012  
 NO. 11/20/10A  
 NWV LTD, P O BOX 580, HUNTINGDON, CAMBS PE29 9EB



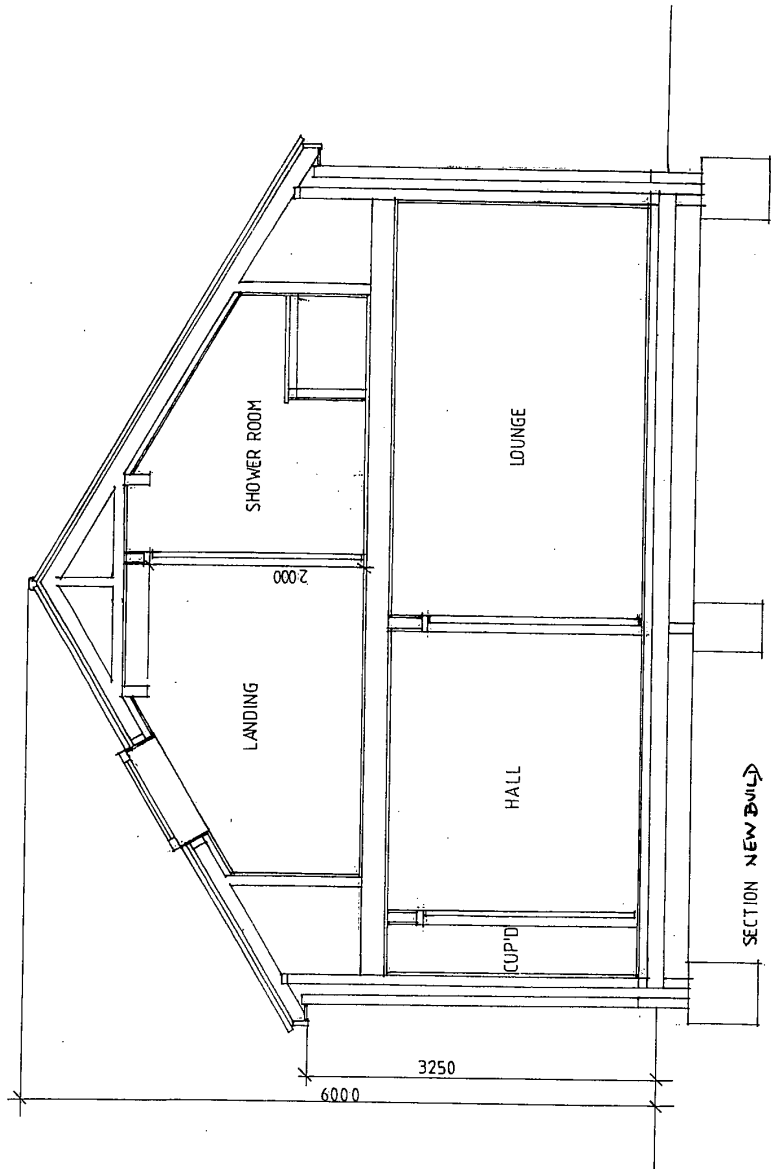


ROOF PLAN No 116



ROOF PLAN NEW BUILD

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING BUNGALOW AND ERECTION OF CHALET BUNGALOW  
 LAND 116 ST NEOTS ROAD, EATON FORD, CAMBS  
 ROOF PLAN 116 AND ROOF PLAN NEW BUILD  
 CLIENT: MR R PAYNE  
 SCALE: 1:100  
 DATE: JANUARY 2012  
 NO. 11/20/6A  
 NWV LTD, P O BOX 580, HUNTINGDON, CAMBS PE29 0FR



PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING  
 BUNGALOW AND ERECTION OF CHALET BUNGALOW  
 LAND 116 ST NEOTS ROAD, EATON FORD, CAMBS  
 SECTION  
 CLIENT: MR R PAYNE  
 SCALE: 1:100  
 DATE: JANUARY 2012  
 NO. 11/20/7A  
 NWV LTD, P O BOX 580, HUNTINGDON, CAMBS PE29 9EB

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**Case No:** 1200012FUL (FULL PLANNING APPLICATION)

**Proposal:** CHANGE OF USE OF LAND TO FORM CAMPING AND TOURING CARAVAN SITE

**Location:** LAND NORTH OF CLUB HOUSE ABBOTSLEY GOLF AND SQUASH CLUB LTD POTTON ROAD

**Applicant:** ABBOTSLEY LTD

**Grid Ref:** 519730 256903

**Date of Registration:** 27.01.2012

**Parish:** ABBOTSLEY

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## RECOMMENDATION - REFUSAL

### 1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 This application relates to 2.8 hectares of land in the open countryside approximately 2.6km from St. Neots and approximately 4.3km from the village of Abbotsley. The land is owned and used by Abbotsley Limited as a golf practice area, as it is situated north of an existing golf range and squash/fitness centre.
- 1.2 The boundary to the site comprises hedges to the north, west and south. Along the road frontage stand tall leylandii trees. Currently, this field is accessed from Potton Road via the access to the golf range, to the south east of the field.
- 1.3 The proposal is for a change of use of the land to a camping and caravan park. It is proposed to provide individual hardstandings for 55 touring caravans, provide an informal grassed area for additional touring caravan pitches and a camping area. It is also proposed to erect a wheelie bin and liquefied petroleum gas storage area. The plan also shows 2 amenity buildings, however no elevations are included and the applicant makes reference to these buildings being subject of a separate application.

### 2. NATIONAL GUIDANCE

- 2.1 National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy

communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

### 3. PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

- **ENV7:** "Quality in the Built Environment" - requires new development to be of high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration

3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

- None relevant.

3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

- **En17:** "Development in the Countryside" - development in the countryside is restricted to that which is essential to the effective operation of local agriculture, horticulture, forestry, permitted mineral extraction, outdoor recreation or public utility services.
- **En25:** "General Design Criteria" - indicates that the District Council will expect new development to respect the scale, form, materials and design of established buildings in the locality and make adequate provision for landscaping and amenity areas.
- **CS8:** "Water" – satisfactory arrangements for the availability of water supply, sewerage and sewage disposal facilities, surface water run-off facilities and provision for land drainage will be required.
- **To9:** "Caravan and Camping Accommodation" – indicates that the District Council will support the provision of caravan and camping sites for tourists where they are not environmentally detrimental,



nor adversely affect residential amenity. Satisfactory road access and essential services are required.

3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

- None relevant.

3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

- **CS1:** "Sustainable development in Huntingdonshire" – all developments will contribute to the pursuit of sustainable development, having regard to social, environmental and economic issues. All aspects will be considered including design, implementation and function of development. Including reducing water consumption and wastage, minimising impact on water resources and water quality and managing flood risk.

3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

- **E1:** "Development Context" – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.
- **E5:** "Trees, Woodland and Hedgerows" – proposals shall avoid the loss of, and minimise the risk of, harm to trees, woodland or hedgerows of visual, historic or nature conservation value and these should be incorporated effectively within the landscape elements of the scheme wherever possible.
- **E8:** "Sustainable Travel" – proposals must demonstrate how the scheme maximises opportunities for the use of sustainable travel modes, particularly walking, cycling and public transport.
- **P7:** "Development in the Countryside" – development in the countryside is restricted to those listed within the given criteria.
  - a. essential operational development for agriculture, horticulture or forestry, outdoor recreation, equine-related activities, allocated mineral extraction or waste management facilities, infrastructure provision and national defence;
  - b. development required for new or existing outdoor leisure and recreation where a countryside location is justified;
  - c. renewable energy generation schemes;
  - d. conservation or enhancement of specific features or sites of heritage or biodiversity value;

- e. the alteration, replacement, extension or change of use of existing buildings in accordance with other policies of the LDF;
- f. the erection or extension of outbuildings ancillary or incidental to existing dwellings;
- g. sites allocated for particular purposes in other Development Plan Documents.

- **P12: "Tourist Accommodation"** - Proposals for touring caravan or camp sites will be acceptable where:
  - d. the site is adjacent to an existing settlement; or
  - e. well-related and with good links to an existing settlement; and
  - f. no adverse visual impact is caused on the surrounding landscape; and
  - g. the site is, or can be served by adequate water and sewerage services; and
  - h. safe physical access can be achieved.
 The occupation of new tourist accommodation will be restricted through the use of conditions or legal agreements to ensure tourist use and not permanent residential use.

3.7 Supplementary Planning Document: The Huntingdonshire Landscape and Townscape Assessment 2007.

#### 4. **PLANNING HISTORY**

4.1 There is no planning history for the land, subject of this proposal.

#### 5. **CONSULTATIONS**

5.1 **Abbotsley Parish Council recommends approval** although express concerns regarding the access – (COPY ATTACHED)

5.2 Environmental Health - No objection.

5.3 Cambs Fire and Rescue – Adequate provision should be made for fire hydrants.

5.4 Cambs County Highways – Further information required.

5.5 Sport England – Do not wish to comment.

5.6 Natural England – Standing advice.

#### 6. **REPRESENTATIONS**

6.1 No representations received.

#### 7. **SUMMARY OF ISSUES**

7.1 It is considered that the issues for consideration are the principle of the development, highway matters and impact on the open countryside.

#### **The Principle:**

7.2 Policy To9 of the Huntingdonshire Local Plan 1995 advises that camping and caravanning sites should only be supported where they are not environmentally detrimental. In 2006, the government published the "Good Practice Guide on Planning For Tourism". Section 5 of the document sets out the key planning considerations, with an emphasis on sustainable forms of development. This view is reinforced by Policy P13 of the Huntingdonshire Development Management DPD: Proposed Submission 2010, which specifically advises that proposals for touring caravan or camp sites will be acceptable where:

- \* the site is adjacent to an existing settlement; or
- \* well-related and with good links to an existing settlement; and
- \* no adverse visual impact is caused on the surrounding landscape; and
- \* the site is, or can be served by adequate water and sewerage services; and
- \* safe physical access can be achieved.

7.3 This site is in the open countryside, it is not adjacent to any settlement. Potton Road is a 60mph road with no footpath and no street lighting. The site is considered to be unsustainable and no justification has been submitted setting out the need for this type of development, of this scale, in this open countryside location. The submitted Planning Statement states only that "The proposed plan would ... provide support to the tourist economy area" and "The existing facilities in the main building will be available to users of the camping and caravan site." For these reasons, this proposal in its current form is considered contrary to [a3]local planning policies.

#### **Highway matters:**

7.4 Potton Road is a 60mph road. It is unclear how many vehicles would be using the access. On the application form the applicant proposes 61 new car parking spaces, however, 55 hardstands are shown and in addition to those hardstandings there is a grassed camping area and an area marked 'informal grass caravan pitches'. For that reason, it is unclear the true number of vehicles likely to use the new access.

7.5 The applicant has failed to provide details of the visibility splay or a tracking plan of how vehicles would use the site. However, it was not reasonable to seek these amendments as part of this application as they would not overcome the fundamental objection to this proposal in principle. The failure to provide highways information reinforces that this proposal is unacceptable.

#### **Scale of development and impact on open countryside:**

7.6 Given the remote location of this complex and further to comments relating to principle, a camping and touring caravan site of the scale proposed is considered detrimental to the character and appearance of the open countryside. This view is reinforced by the long distance views across this field when approaching from the north. The field chosen is, visually, very prominent and it is considered that landscaping will not mitigate the impact of the proposal, particularly given the scale of the development proposed.

**Conclusion:**

- 7.7 This scheme, as submitted is unacceptable in principle and will be detrimental to the open character and appearance of the open countryside. The applicant has also failed to demonstrate that the proposal will not be detrimental to highway and pedestrian safety. No material considerations have been provided to overcome these concerns. In light of Development Plan Policies and other material considerations, permission should be refused for the development as proposed.

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**8. RECOMMENDATION – REFUSE** for the following reason:

- 8.1 This site lies in a prominent location in the open countryside over 2.5km to the nearest settlement, St. Neots and Potton Road is a 60mph road with no footways or cycle routes. The applicant has failed to provide justification for the need of this type of development in such an unsustainable location and the scale of the proposal would be significantly detrimental to the character and appearance of the open countryside. This proposal would be directly contrary to policy To9 of the Huntingdonshire Local Plan 1995, and Policies E1, E8, P7 and P12 of the Huntingdonshire Local Plan 1995.

**CONTACT OFFICER:** Enquiries about this report to Clara Kerr Development Management Officer **01480 388434**

**From:** deryckirons@aol.com  
**Sent:** 14 February 2012 00:52  
**To:** DevelopmentControl  
**Subject:** Recent Planning Applications in Abbotsley

Abbotsley Parish Council has considered and commented on the following planning applications:

1102126FUL - Fencing adjacent to the 17th and 18th fairways of the Cromwell Golf Course. The Parish Council supports the provision of 7m high protective netting between the golf course and the 'Country Homes' but shares the view of residents that the 2.4m close boarded fence is not necessary and may appear obtrusive in this rural setting.

1200012FUL - Camping and touring caravan site adjacent to the Golf Clubhouse in Drewels Lane/Potton Road. The Parish Council has no objection to the proposed development, although the access arrangements may need further consideration.

Deryck Irons  
Abbotsley Parish Clerk

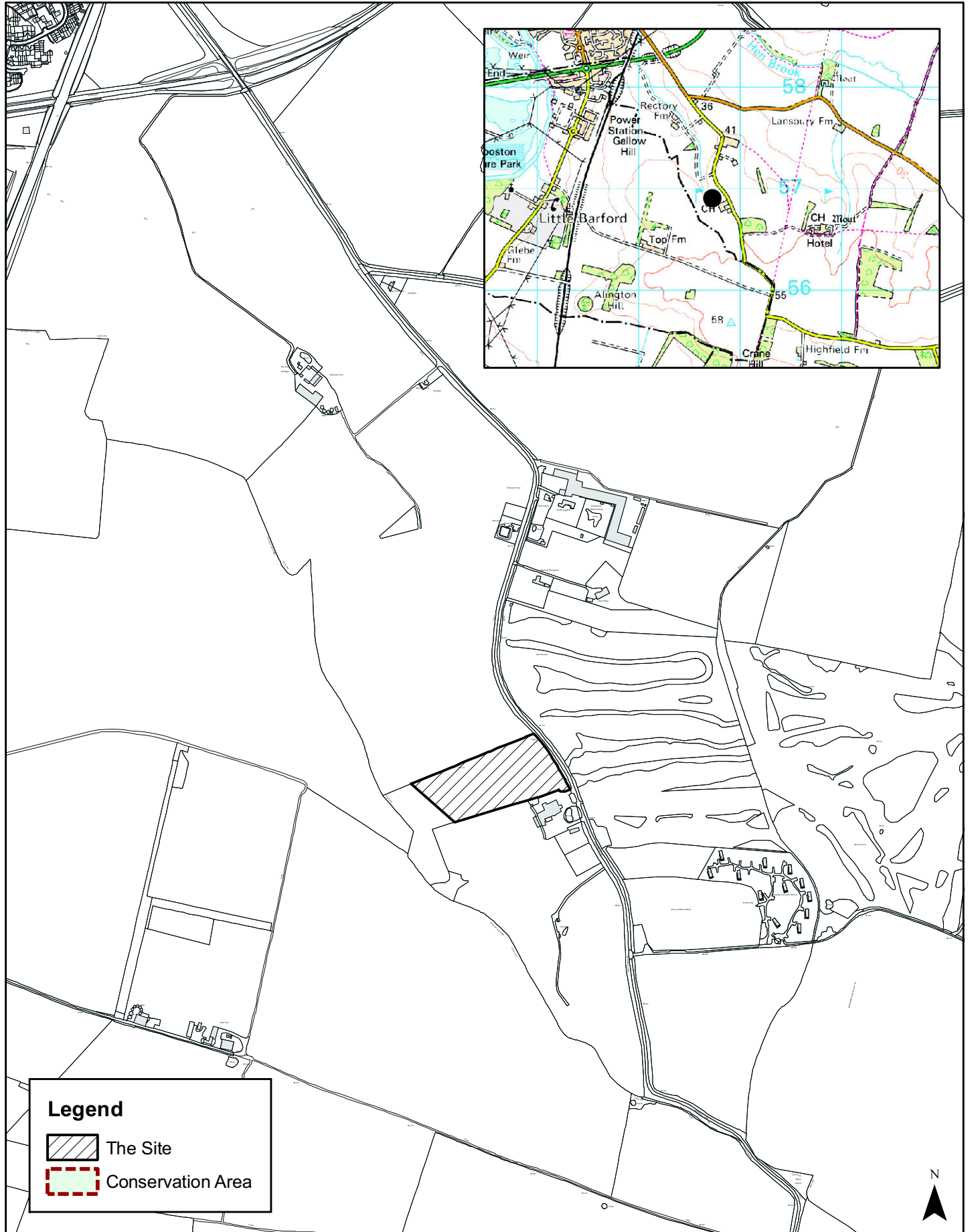


# Development Management Panel

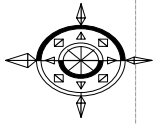
Application Ref: 1200012FUL

Location: Abbotsley

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Scale: 1:10000



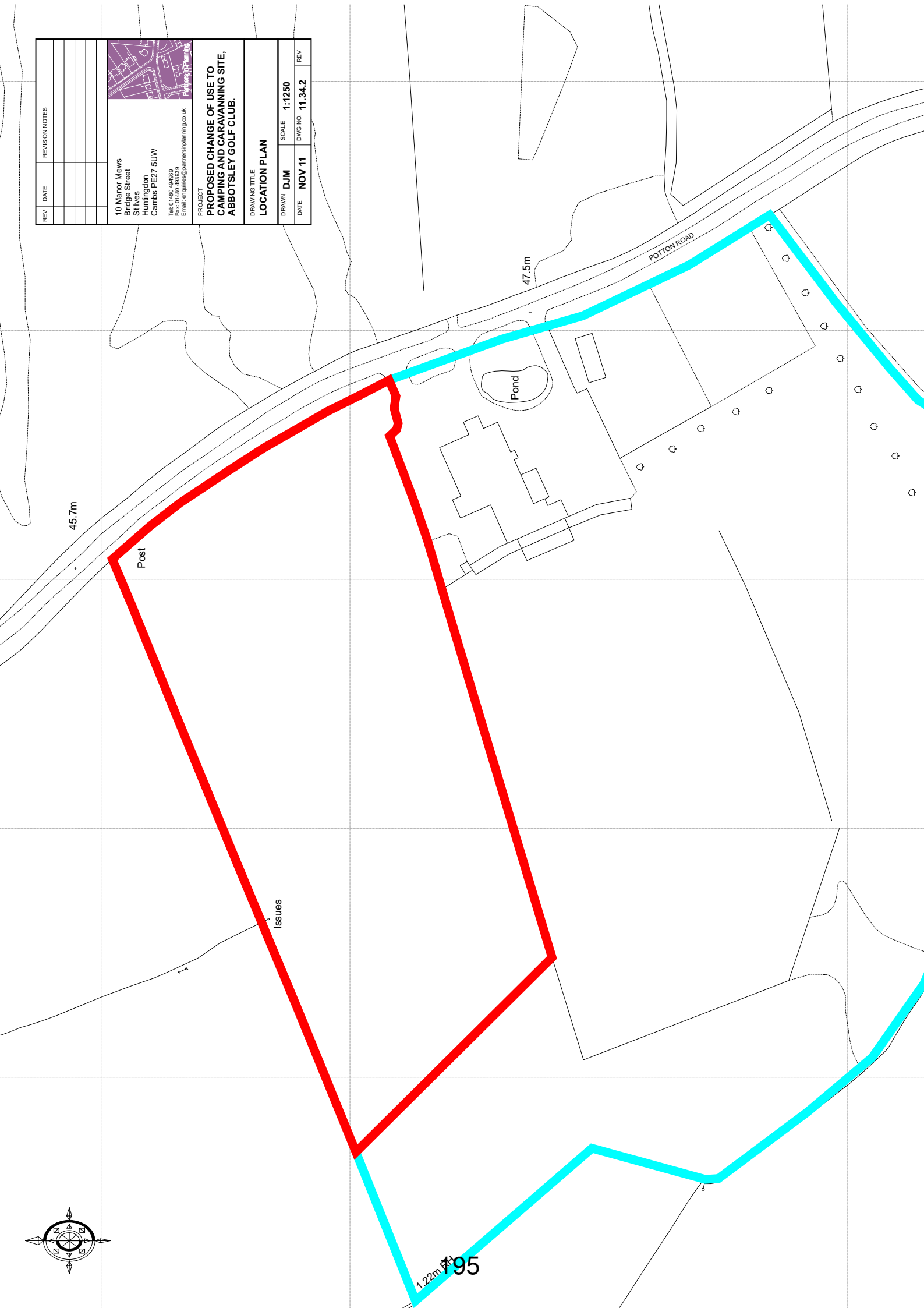
REV	DATE	REVISION NOTES

10 Manor Mews  
Bridge Street  
Strives  
Huntingdon  
Cambs PE27 5UW  
Tel: 01480 494889  
Fax: 01480 485338  
Email: enquiries@partnersplanning.co.uk  
Partners Planning

PROJECT  
**PROPOSED CHANGE OF USE TO  
CAMPING AND CARAVANNING SITE,  
ABBOTSLEY GOLF CLUB.**

DRAWING TITLE  
**LOCATION PLAN**

DRAWN	DJM	SCALE	1:1250
DATE	NOV 11	DWG NO.	11.34.2
REV			



45.7m

Post

Pond

POTTON ROAD

47.5m

Issues

1.22m  
195



REV.	DATE	DESCRIPTION	NOTES
1	21/07/21	Issue for planning	
2	21/07/21	Issue for planning	
3	21/07/21	Issue for planning	
4	21/07/21	Issue for planning	
5	21/07/21	Issue for planning	
6	21/07/21	Issue for planning	
7	21/07/21	Issue for planning	
8	21/07/21	Issue for planning	
9	21/07/21	Issue for planning	
10	21/07/21	Issue for planning	

10 Manor House  
 Park Street  
 St. Neots  
 Huntingdon  
 Cambs PE27 5JW

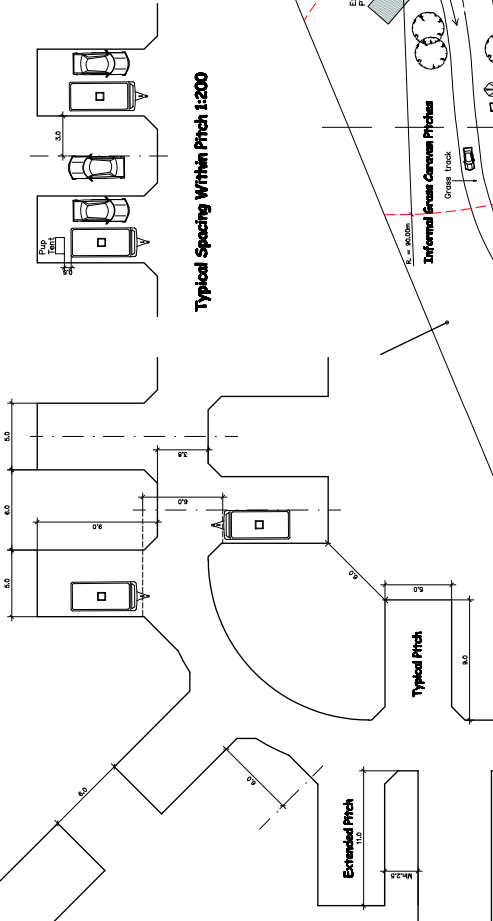
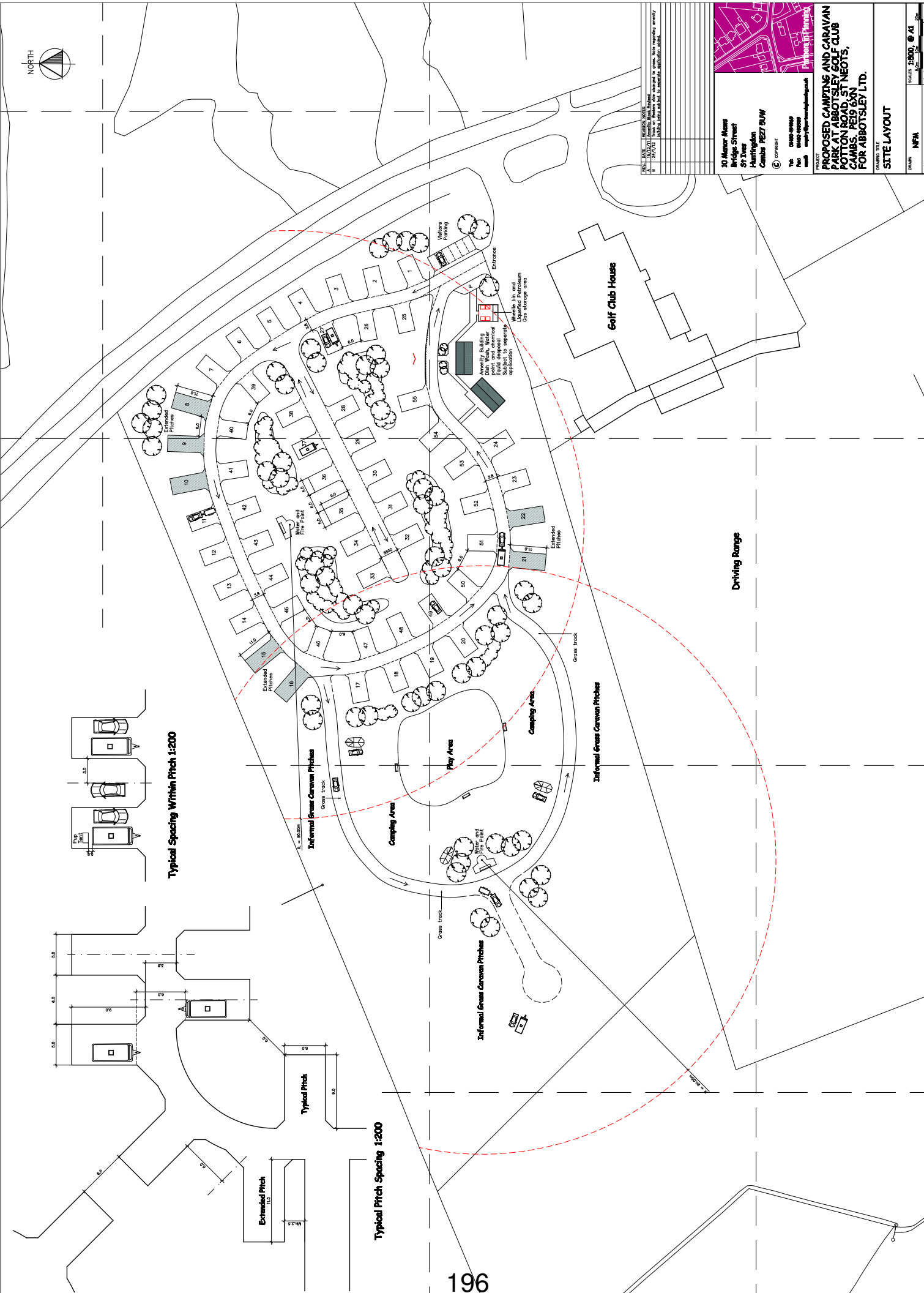
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TEL: 01455 666666  
 FAX: 01455 799799  
 EMAIL: enquiry@peterboroughplanning.co.uk

PROJECT:  
**PROPOSED CAMPING AND CARAVAN  
 PARK AT ABBOTSLEY GOLF CLUB  
 POTTON ROAD, ST NEOTS,  
 CAMBS. PE19 6XN  
 FOR ABBOTSLEY LTD.**

DRAWING TITLE:  
**SITE LAYOUT**

SCALE: 1:500 @ A1  
 DATE: 31/07/21  
 DRAWN: NFW  
 CHECKED: [blank]  
 REV. NO.: 11/24/01  
 REV. B



DEVELOPMENT MANAGEMENT PANEL

16 April 2012

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**Case No:** 1101884FUL (FULL PLANNING APPLICATION)

**Proposal:** CHANGE OF USE FROM A1 (RETAIL) TO A1 (RETAIL) AND A5 (TAKE-AWAY)

**Location:** 28 HIGH STREET PE28 9JZ

**Applicant:** MR A ISAAC

**Grid Ref:** 531736 268380

**Date of Registration:** 22.12.2011

**Parish:** FENSTANTON

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## RECOMMENDATION - APPROVE

### 1 DESCRIPTION OF SITE AND APPLICATION

- 1.1 This property is located at the eastern end of the High Street, and is a single storey property, last used as a retail outlet for the sale of disability aids to the public. The building is now vacant. There is an area of land behind the property which is used as a car park, with an access from the High Street. This is shared with the adjoining hotel.
- 1.2 The property is in a mixed use area, the immediate neighbours being a hotel (with a Thai restaurant), an office at no 26 and a nursery at no 24. The nearest properties on the opposite side of the road are largely in residential use, apart from no 27 which is a pharmacy.
- 1.3 The proposal is to change the use of the building from its present A1 use (retail) to an A1 use and an A5 (hot food takeaway) use. A floor plan has been submitted showing the proposed layout of the A5 use. Included in the application is the proposal to install two fume extraction units, one to be located at each end of the building and venting to the rear, over the car park. The cowls will not exceed the height of the existing ridge. The building has a total internal floor area of 36.8 sq.m., of which 29 sq.m. will be used for the kitchen, with 6.5 sq.m. used as a waiting area. There is a single toilet in one corner of the building. The applicants have commented that the proposed change of use will not involve any major structural work.
- 1.4 The applicant's intention is to provide a takeaway where the emphasis will be on a range of foods which will promote healthy eating. To this end, the food will be grilled or skewered, served with boiled rice and salads as required by the customer. A home delivery service will be offered. The business will provide seven full time jobs and three part time ones. Car parking will be available at the rear of the premises. It is intended to operate the business seven days per week from 17.00 hrs to 23.00 hrs. The fume extraction system has been designed to minimise disturbance to adjacent neighbours.

- 1.5 The site is in the built up area of the village and within the conservation area. There is a listed building to the rear of the site (9 Bell Lane) and the road is classified (C121). Fenstanton is a key service centre in the settlement hierarchy.

## 2 NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (2012) sets out the three dimensions to sustainable development – an economic role, a social role and an environmental role – and outlines the presumption in favour of sustainable development. Under the heading of Delivering Sustainable Development, the Framework sets out the Government's planning policies for: building a strong, competitive economy; ensuring the vitality of town centres; supporting a prosperous rural economy; promoting sustainable transport; supporting high quality communications infrastructure; delivering a wide choice of high quality homes; requiring good design; promoting healthy communities; protecting Green Belt land; meeting the challenge of climate change, flooding and coastal change; conserving and enhancing the natural environment; conserving and enhancing the historic environment; and facilitating the sustainable use of minerals.

For full details visit the government website <http://www.communities.gov.uk> and follow the links to planning, Building and Environment, Planning, Planning Policy.

## 3 PLANNING POLICIES

Further information on the role of planning policies in deciding planning applications can also be found at the following website: <http://www.communities.gov.uk> then follow links Planning, Building and Environment, Planning, Planning Information and Guidance, Planning Guidance and Advice and then Creating and Better Place to Live

- 3.1 East of England Plan - Revision to the Regional Spatial Strategy (May 2008) Policies viewable at <http://www.go-east.gov.uk> then follow links to Planning, Regional Planning then Related Documents

**ENV7** – Quality in the Built Environment – requires new development to be of a high quality which complements the distinctive character and best qualities of the local area and promotes urban renaissance and regeneration.

- 3.2 Cambridgeshire and Peterborough Structure Plan (2003) Saved policies from the Cambridgeshire and Peterborough Structure Plan 2003 are relevant and viewable at <http://www.cambridgeshire.gov.uk> follow the links to environment, planning, planning policy and Structure Plan 2003.

None relevant

- 3.3 Huntingdonshire Local Plan (1995) Saved policies from the Huntingdonshire Local Plan 1995 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan95](http://www.huntingdonshire.gov.uk/localplan95)

**H30:** “Existing Residential Areas” – Planning permission will not normally be granted for the introduction of, or extension to, commercial

uses or activities within existing residential areas where this would be likely to have a detrimental effect on amenities.

**E7:** “Small businesses” - will normally be supported subject to environmental and traffic considerations.

**E8:** “Small scale employment generating development” – will normally be permitted within defined environmental limits subject to demonstrated employment need, likely impact on character, amenities and infrastructure.

**S14** – “A3 Uses” - applications for A3 uses (which at the time of the publication of the Local Plan included hot food takeaways) will be judged against a number of criteria.

**S17** “Retention of existing Shopping Facilities in Villages” – will be supported and where necessary will encourage the dual or multi use of commercial or other premises in order to secure some local shopping provision.

**En2:** “Character and setting of Listed Buildings” – indicates that any development affecting a building of architectural or historic merit will need to have proper regard to the scale, form, design and setting of the building.

**En5:** “Conservation area character” - development within or directly affecting Conservation Areas will be required to preserve or enhance their character or appearance.

**En6:** “Design standards in Conservation Areas” – in conservation areas, the District Council will require high standards of design with careful consideration being given to the scale and form of development in the area and to the use of sympathetic materials of appropriate colour and texture.

- 3.4 Huntingdonshire Local Plan Alterations (2002) Saved policies from the Huntingdon Local Plan Alterations 2002 are relevant and viewable at [www.huntingdonshire.gov.uk/localplan](http://www.huntingdonshire.gov.uk/localplan) - Then click on "Local Plan Alteration (2002)

None relevant

- 3.5 Policies from the Adopted Huntingdonshire Local Development Framework Core Strategy 2009 are relevant and viewable at <http://www.huntsdc.gov.uk> click on Environment and Planning then click on Planning then click on Planning Policy and then click on Core Strategy where there is a link to the Adopted Core Strategy.

None relevant

- 3.6 Policies from the Development Management DPD: Proposed Submission 2010 are relevant.

**E1:** “Development Context” – development proposals shall demonstrate consideration of the character and appearance of the surrounding environment and the potential impact of the proposal.

**E3:** “Heritage Assets” – proposals which affect the District’s heritage assets or their setting should demonstrate how these assets will be protected, conserved and where appropriate enhanced.

**E10:** “Parking Provision” – car and cycle parking should accord with the levels and layout requirements set out in Appendix 1 ‘Parking Provision’. Adequate vehicle and cycle parking facilities shall be provided to serve the needs of the development.



**H7:** “Amenity” – development proposals should safeguard the living conditions for residents and people occupying adjoining or nearby properties.

**P5:** “Local Shopping and Services” – seeks to support the provision of local shopping and other town centre uses as defined in PPS4, within existing built up areas of Key Service Centres, Smaller Settlements and predominantly neighbourhood centres of Market Towns, subject to environmental, safety and amenity considerations where it can be demonstrated that the proposal is directly related to the role and function of the locality; contributes towards the provision of a safe environment and would enhance the existing provision.

**P6:** “Protecting Local Services and Facilities” – proposals should not result in an unacceptable reduction in the range and availability of premises for key services and facilities in a settlement or neighbourhood, unless it can be demonstrated that there is no reasonable prospect of that service being retained or restored.

#### **4 PLANNING HISTORY**

8701943FUL – change of use of flat to offices (26 & 28 High Street). Approved 16th December 1987.

#### **5 CONSULTATIONS**

5.1 **Fenstanton Parish Council – Refuse** (copy attached).

5.2 **Environmental Health Officer** – there is insufficient information regarding the provision of water for washing food and utensils. The toilet leads directly into the food room. It would appear that the proposal will not comply with the Food Hygiene Regulations. The proposed flues should not be particularly noisy but the western one is about 1m from a first floor window in an adjoining property. Although the room is not in residential use there could be issues if the filters failed or the noise generation was greater than predicted. Due to the office use of this property, a refusal could not be supported but it is recommended that the start time of 17.00hrs is enforceable.

5.3 **HDC Transportation** – No objections in principle. There are no reasons to object to the proposal on highway grounds.

#### **6 REPRESENTATIONS**

6.1 Neighbours – Four representations have been received and the following comments have been raised:-

1. There is already adequate provision for this type of use in the village. St Ives is close by with a further range of takeaways. The proposal will reduce the amount of trade to the existing premises.

2. The proposed ventilation flues on the rear of the building will cause a loss of amenity to adjacent properties through increased noise and disturbance, smells and excessive heat. Cooking smells could affect the children playing in the garden of the adjacent nursery.

3. There is inadequate thermal insulation on the wall between this property and no 26 to prevent the spread of fire.

4. There is no parking available on the High Street and this will lead to an increase in the use of the parking area at the rear. This will be to the inconvenience of the existing users. The use will attract additional cars

to the High Street and this will add to the hazards faced by existing road users. Parking associated with the use of the premises in the late afternoon will conflict with parents collecting their children from the adjoining nursery.

5. There will be an increase in litter and refuse left on the High Street. This would have an adverse impact on the visual amenities and the environment of the High Street.

6. The use of the access to the car park will cause problems and a nuisance to the other users of this access, notably people visiting the hotel and the adjoining office.

7. There will be a loss of amenity due to late night noise and disturbance.

8. There could be a highway issue with delivery lorries visiting the site.

9. The proposal could lead to an increase in anti-social behaviour.

10. The proposed change of use will have an adverse impact on the quality of life of people living in the vicinity of the site.

## **7 SUMMARY OF ISSUES**

7.1 The issues in this case relate to the principle of the use, the effect of the use on the character of the conservation area and the setting of the adjoining listed building, the impact of the proposal on the amenities of the adjoining neighbours and the highway implications of the change of use.

7.2 The principle of the change of use

7.3 Policy E7 (HLP1995) will normally support that establishment of small businesses subject to traffic and environmental considerations. Policy P5 similarly supports proposal for local shopping and other town centre uses as defined in PPS4, again subject to environmental, safety and amenity considerations, and P6 seeks to protect local services and facilities. In respect of this proposal, the change of use to an A5 use, will not result in the loss of the last shop in the village, and it should not have a detrimental impact on the overall viability or vitality of this key service centre.

7.4 Policy S14 identifies four criteria by which applications for A3 uses (and A4 and A5 uses) should be judged. These are:-

1. The effect on adjacent properties and nearby residential properties.
2. Car parking facilities and general highway implications.
3. The proposed opening hours and the ability to control these by condition.

7.5 Sections 1 and 2 are considered in more detail below.

7.6 The applicant has stated the proposed opening hours, and, if consent is granted, it would be appropriate to impose these by condition.

7.7 In land use terms, the proposal is consistent with the present pattern of development in the area, and it should be noted that the retail use will not necessarily be lost as a result of this proposal as the application specifically refers to a dual A1/A5 use. It is considered that the principle of the change of use is acceptable and that the provision of this type of facility would be appropriate in a key service centre.

- 7.8 Although the applicant has indicated that he would be serving healthy foods, the application is for an open A5 use and should be considered on this basis.
- 7.9 The impact of the development on the character of the conservation area.
- 7.10 The physical alterations to the building are very limited and will not have a significant impact on its external appearance. The proposed flues will project through the rear roof slope and will not exceed the height of the existing ridge. They will therefore be largely screened from the public view. Overall the development will not have an adverse impact on the appearance of the conservation area. The listed building referred to above is a substantial distance from no 28 and the proposed changes will not have an adverse impact on its setting.
- 7.11 The change of use to an A5 use will have some effect on the “character” of the conservation area, but it is considered that this will be limited, and will not be detrimental to the area as a whole.
- 7.12 The proposal complies with policies ENV7, En2, En5, En6 and E3.
- 7.13 The effect on residential amenities.
- 7.14 The impact of the proposed A5 use on the amenities of the immediate neighbours is not easy to quantify but it will relate to increased noise and disturbance, traffic generation, fumes and smells. In respect of the last matter, the Environmental Health Officer has commented that he could not support a refusal on the grounds of the impact of fumes and smell, but has recommended that the opening hours as requested be strictly adhered to and that a note be added to any planning permission advising the applicant that regular maintenance of the extraction system is essential. This is due to the proximity of one of the flues to a window in the adjoining office[a4] premises, and is to ensure that issues of smells and noise do not arise.
- 7.15 Noise and disturbance generated by the use itself will be concentrated in the evening period, and will involve the activity of the customers and the use of vehicles. There is no doubt that hot food takeaways can involve increased noise and disturbance and hence a loss of amenity to adjacent occupiers. However, this need not necessarily be the case, and many operate without causing any problems whatsoever. There is no evidence to support the contention that this proposal will have a deleterious effect on the amenities of the immediate properties, or would lead to an increase in anti-social behaviour, and, whilst the concerns of the neighbours are appreciated, it is considered that, on the basis of the evidence available, a refusal could not be justified.
- 7.16 The proposal does not conflict with policies H30 and H7.
- 7.17 The highway implications
- 7.18 The number of vehicles generated by an A5 use is difficult to predict with any degree of certainty. In this particular case, the property, unlike many of the other commercial properties along the High Street has on site parking spaces available at the rear of the property, and

there is a wide access serving these. The site can be reached by public transport and it is within easy walking or cycling distance of many properties in the village. It is anticipated that a number of the meals will be home deliveries.

7.19 The concerns of the Parish Council, and that of local residents are noted, and whilst it is likely that the proposal will generate a certain amount of additional traffic, and that some of these vehicles will park on the High Street, it is considered that the impact of any extra traffic will not be sufficient to support a reason for refusal. The applicant's figure of 10 parking spaces at the rear of the property more than satisfies the requirements of appendix 1 of the DMDPD (7 spaces), and, in this respect, the proposal complies with policy E10.

7.20 Overall, it is considered that the proposal will not have serious traffic or parking implications.

7.21 Other issues

1. Competition – this is not a material planning consideration and the application could not be resisted on this ground.

2. Delivery lorries – There is no evidence to support the assertion that an A5 use would generate more delivery traffic than an A1 use would generate.

3. Litter – the application does not refer to the provision of litter bins on the premises. The application could not be refused if one was not provided and it might be difficult to comply with a condition requesting one as the location of such a bin might be on land outside the ownership of the applicant.

4. The drawings are adequate for the purposes of the planning application. The development would have to comply with other legislation e.g. the 2006 Food Hygiene Regulations before it could operate.

5. The applicant has served the required notice on the owner of the access.

7.22 Conclusions

1. The proposal is acceptable in land use terms.

2. The development will not have an adverse impact on the character and appearance of the conservation area.

3. Subject to a restriction on opening hours, the proposed will not have a significant impact on the amenities of the neighbours.

4. There are no overriding highway issues.

5. There are no other material planning considerations which will have a major impact on the consideration of this planning application.

7.23 Having regard to applicable national and local planning policies, and having taken all relevant material considerations into account, it is considered that planning permission should be granted in this instance.

7.24 If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**RECOMMENDATION – APPROVE** subject to the conditions to include the following:-

<b>02003</b>	Time Limit (3yrs)
<b>Nonstand</b>	change of use only
<b>Nonstand</b>	fume extraction system
<b>Nonstand</b>	hours restriction

**CONTACT OFFICER:**

Enquiries about this report to **David Hincks Development Management Officer 01480 388406**

Pathfinder House, St Mary's Street  
Huntingdon, PE29 3TN  
mail@huntsdc.gov.uk

Tel: 01480 388388  
Fax: 01480 388099  
www.huntingdonshire.gov.uk

Head of Planning Services  
Pathfinder House  
St. Mary's Street  
Huntingdon  
Cambridgeshire PE 29 3TN

Application Number: 1101884FUL Case Officer David Hincks  
**Proposal: Change of use from A1 (retail) to A1 (retail) and A5 (take-away)**  
**Location: 28 High Street Fenstanton Huntingdon**  
**Observations of Fenstanton Town/Parish Council.**

Please  box as appropriate

Recommend **approval** because ..... (please give relevant planning reasons in space below)

Recommend **refusal** because... (please give relevant planning reasons in space below)

*PLEASE SEE ATTACHED SHEET.*

No observations either in favour or against the proposal

  
Clerk to Fenstanton Town/Parish Council.

Date: *27 JANUARY 2012.*

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.



**Re: Planning Application: 1101884FUL**  
**Change of use from A1 (retail) to A1 (retail) and A5 (takeaway)**  
**28 High Street, Fenstanton.**

Fenstanton Parish Council recommend refusal of the above Planning Application for the following reasons:

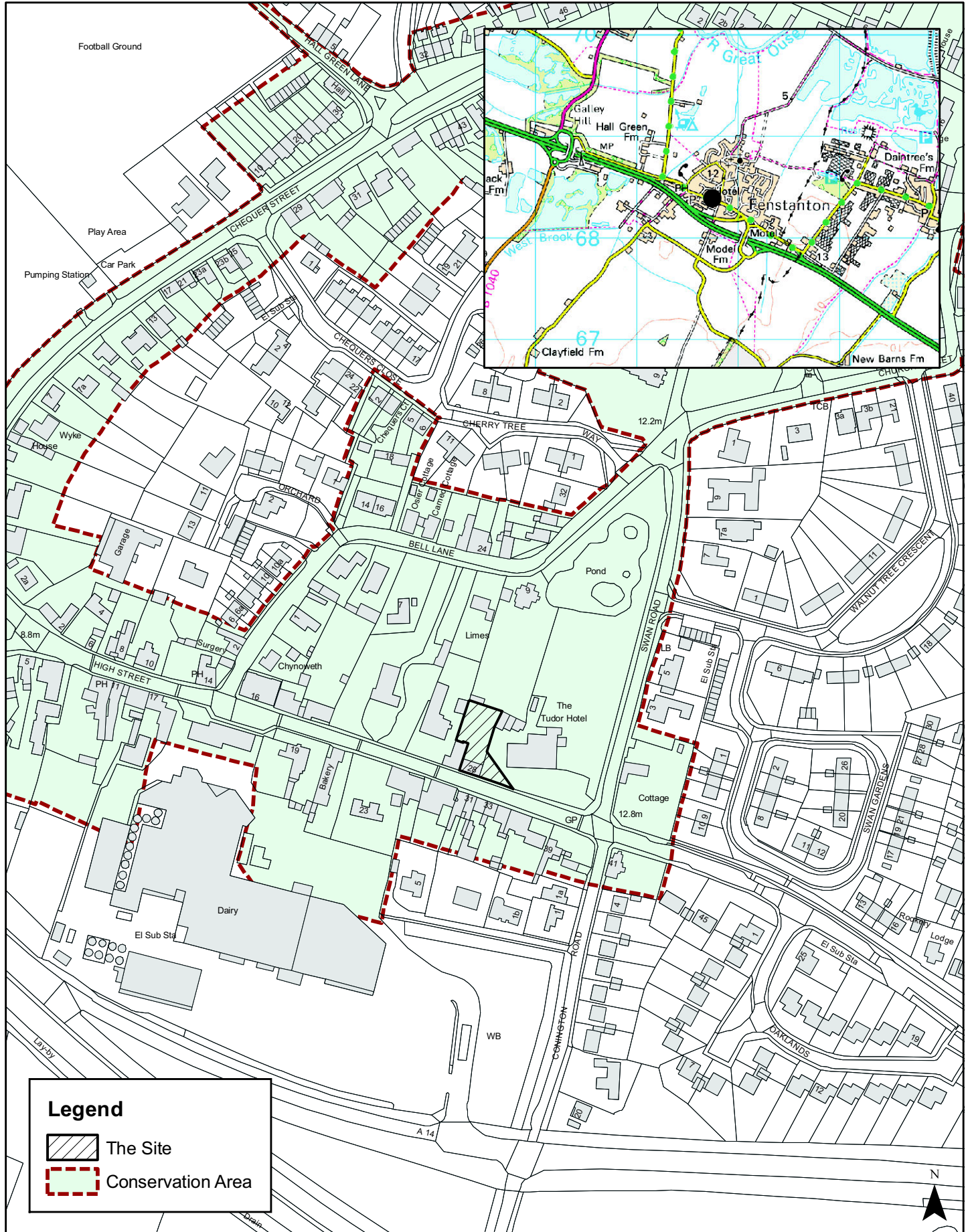
- 1) The location of a takeaway in the High Street, at the proposed site, is inappropriate for the Village and not in keeping with a conservation area.
- 2) Delivery vehicles will cause further congestion at this point in the High Street
- 3) Although the application states that parking is available at the rear of the premises, it is the contention of this Parish Council that patrons will park in the High Street. Causing further congestion in an already congested area.
- 4) The Parish Council have reservations to the ownership to the access/entrance to the rear parking area.
- 5) The increase in vehicles and parking will cause increased hazards and safety concerns for parents collecting their children from the neighbouring Nursery at one of the peak times of the day, from 5pm.
- 6) The drawings lack sufficient information and detail.
- 7) No indication is shown for the washing / hygienic means for preparing food.
- 8) Neighbours objections (a copy of correspondence from the Ladybird Nursery is included for information).

# Development Management Panel

Application Ref: 1101884FUL

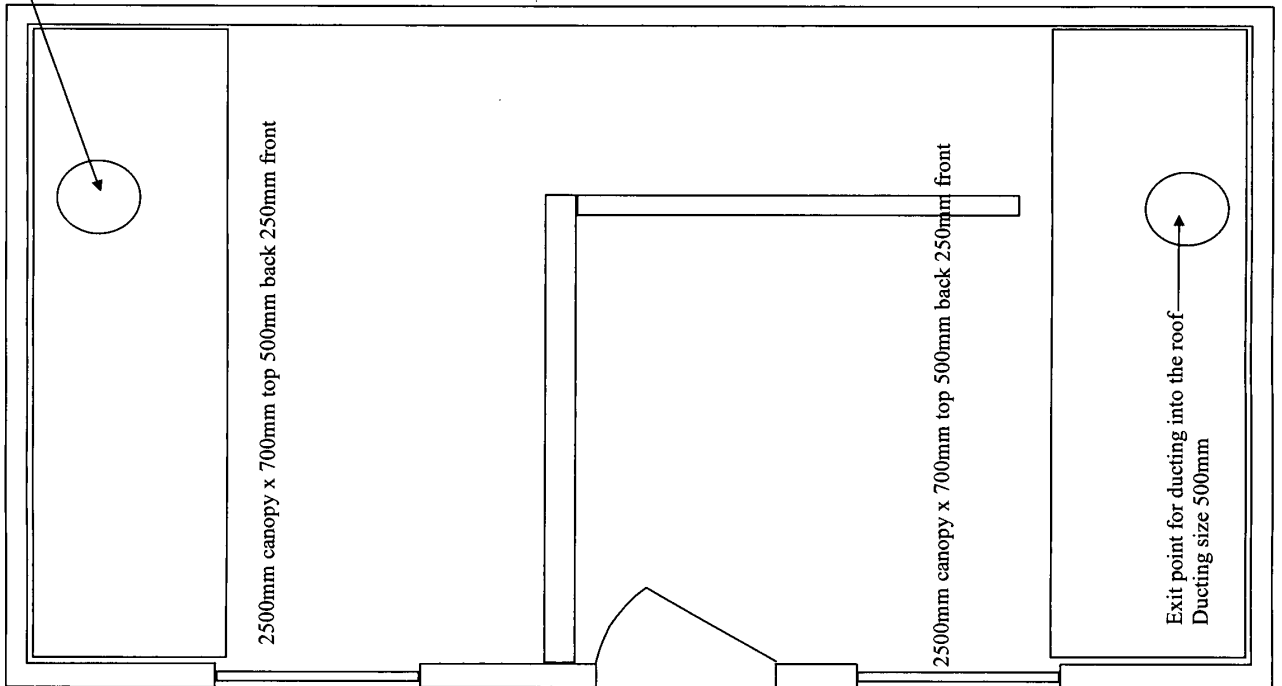
Location: Fenstanton

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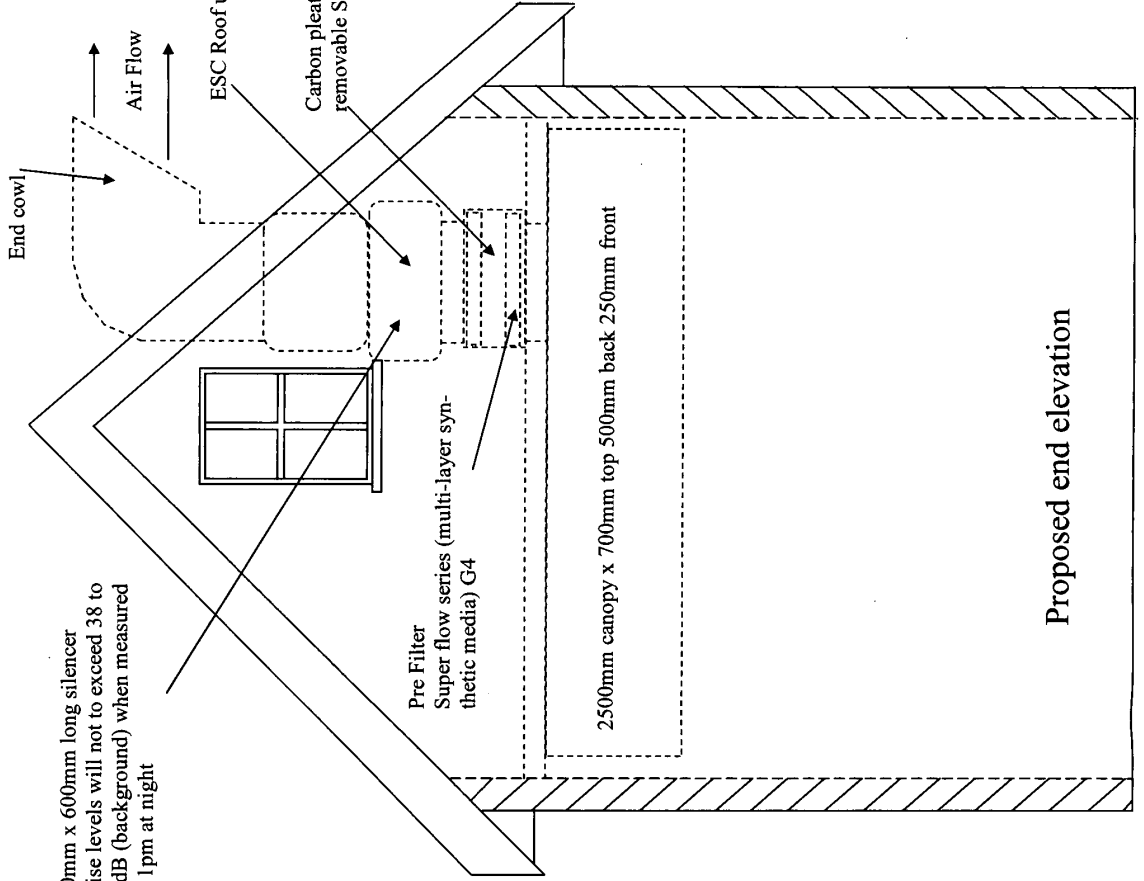
Scale: 1:2500

**Proposed canopy layout**



Exit point for ducting into the roof  
Ducting size 500mm

500mm x 600mm long silencer  
Noise levels will not to exceed 38 to 40 dB (background) when measured at 11pm at night



Carbon pleated panel Filter with activated carbon.  
removable Should be replaced every three months

ESC Roof unit 500mm case fan

Pre Filter  
Super flow series (multi-layer synthetic media) G4

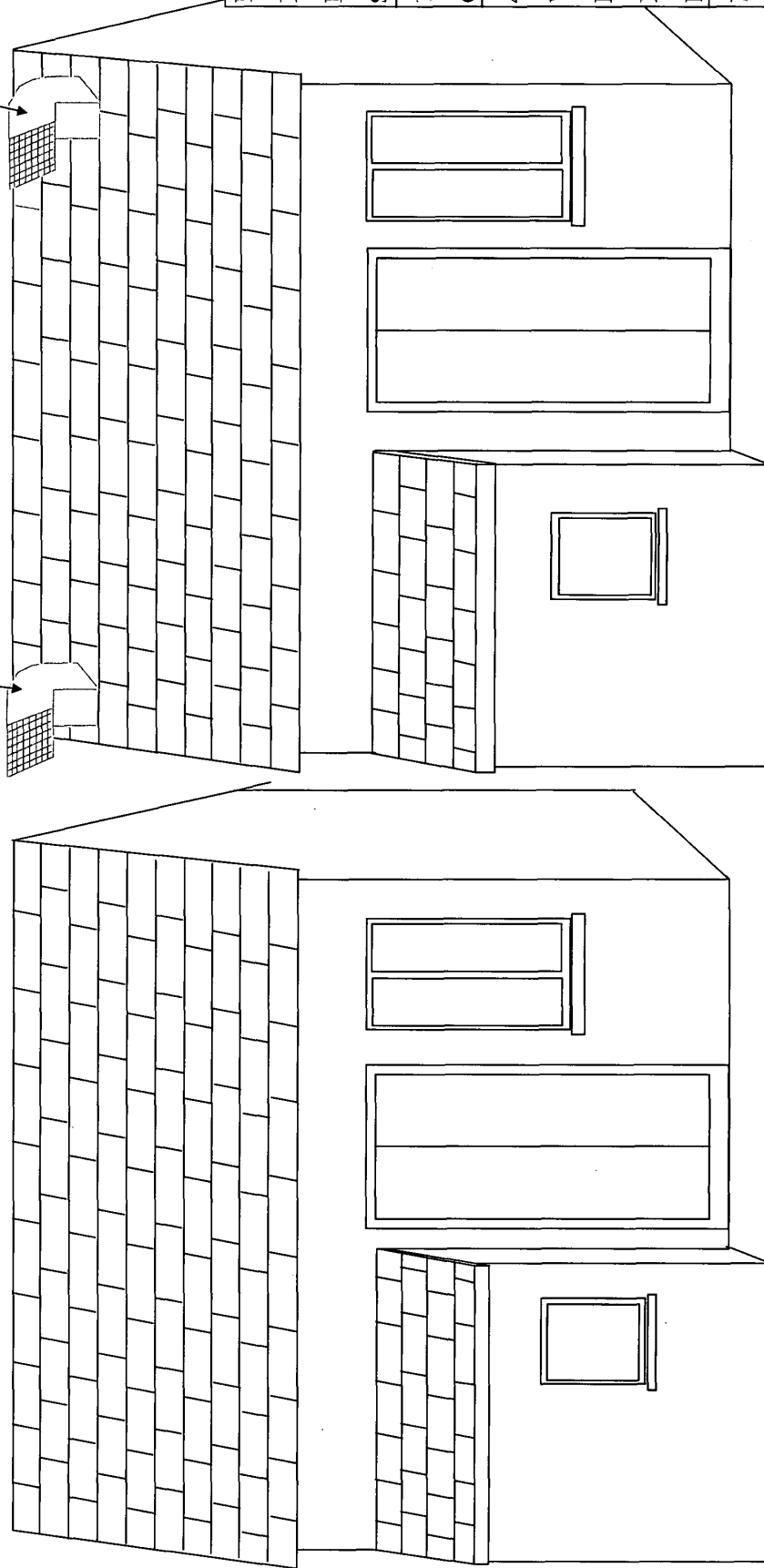
2500mm canopy x 700mm top 500mm back 250mm front

**Proposed end elevation**

High street
Fenstanton
Huntingdon
Scale: @ A3
1:20
Canopy UK
4 Alfric Square
Woodston
Peterborough
PE2 7JP
Date 24/11/2011
Layout Modified
Key
-----
Canopy and ducting at end elevation



Roof cowl s not to exceed the top of the roof so that cannot be seen from the road



Existing Back Elevation

Proposed Back Elevation

High street

Ferstanton

Huntingdon

Scale: @ A3

1:20

Canopy UK

4 Alfric Square

Woodston

Peterborough

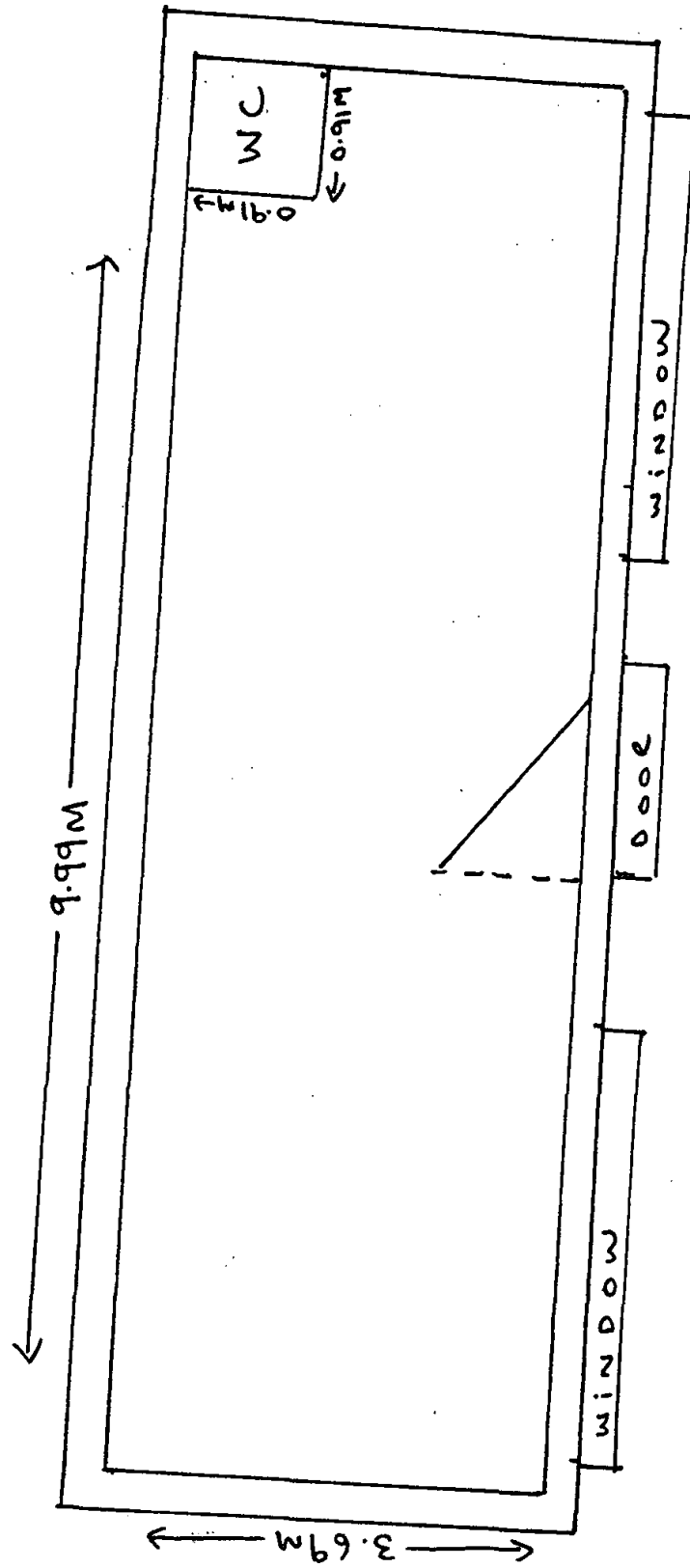
PE2 7JP

Date 24/11/2011

Layout Modified

Key

CanopyUK.com



H I G H S T R E E T

Scale: 1 meter=2cm

Re: 28 High Street, Fenstanton, St Ives PE28 9JZ

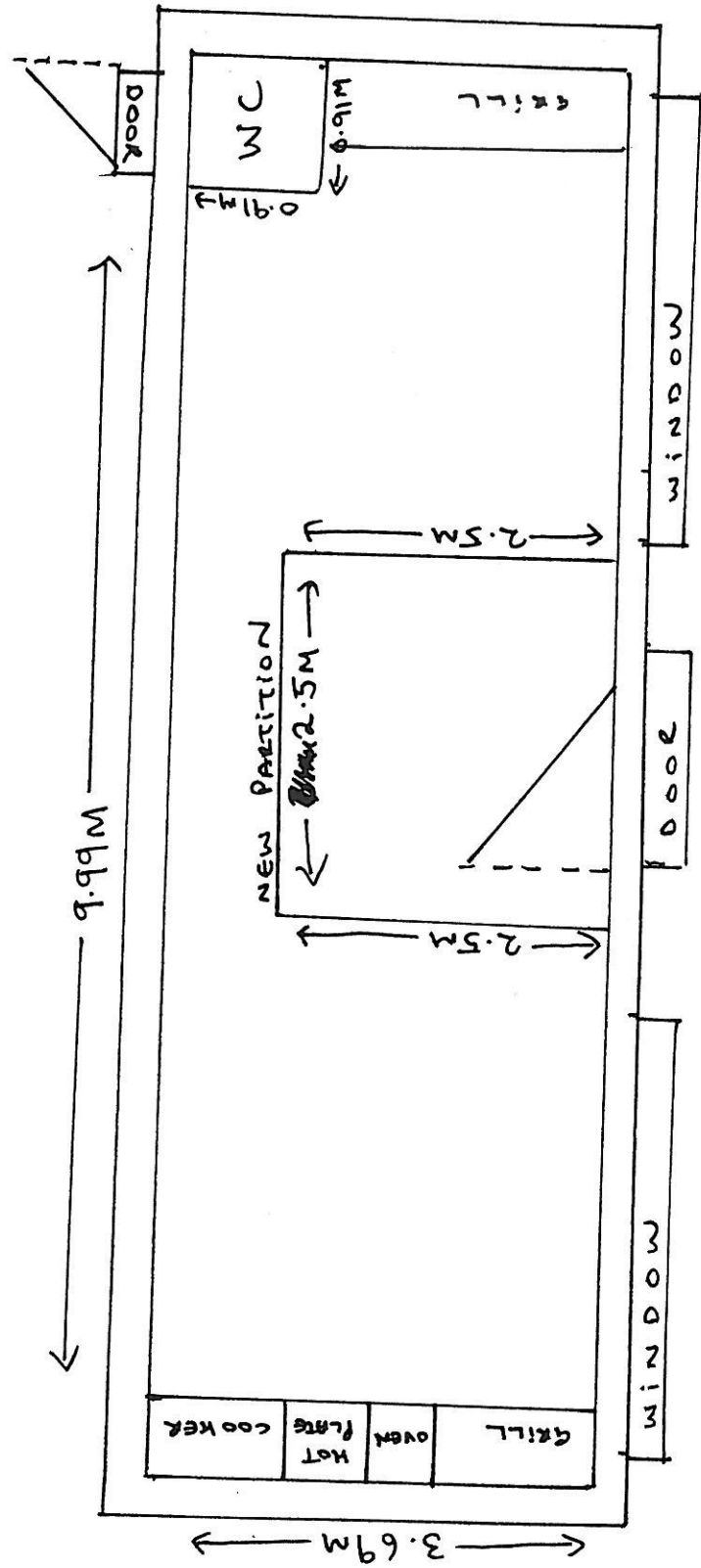
Existing Floor Plan

101884

Proposed Floor Plan

Re: 28 High Street, Fenstanton, St Ives PE28 9JZ

Scale: 1 meter=2cm



HIGH STREET



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# Agenda Item 6

AGENDA ITEM NO.

DEVELOPMENT MANAGEMENT PANEL

16 April 2012

## APPEAL DECISIONS

(Report by Planning Services Manager (Development Management))

### PUBLIC INQUIRY

1. **Appellant:** Broadview Energy Developments Ltd  
**Agent:** TNEI Services Ltd
- Erection of 4 wind turbines, crane pads,  
access tracks and ancillary works  
West of Bicton Industrial estate  
Kimbolton
- Dismissed  
09.03.12**

### HEARING

2. **Appellant:** Mr N Farmer  
**Agent:** Pegasus Planning Group
- Appeals 'A' and 'B'** 2.5 storey extension to  
nursing home to provide additional 28  
bedrooms and ancillary facilities  
Cromwell House,  
82 High Street  
Huntingdon
- Dismissed  
08.03.12**

### WRITTEN REPRESENTATIONS

3. **Appellant:** Messrs S Chapman and J Woods  
**Agent:** Taylor Vinters
- Erection of garage block  
163 Crosshall Road  
Eaton Socon
- Dismissed  
30.01.12**
4. **Appellant:** Callisto Properties Ltd  
**Agent:** None
- Erection of entrance gates  
to an approved development  
ATS Ltd Brook Street  
St Neots
- Dismissed  
14.03.12**

All appeal decisions can be viewed in full via Public Access. The most notable decisions are summarised below.

## **PUBLIC INQUIRY**

- 1. 1001201FUL                      Erection of 4 No. wind turbines, crane pads, access tracks and ancillary works  
Land west of Bicton Industrial Estate  
Kimbolton  
Broadview Energy Developments Ltd**

Planning permission was refused by Development Management Panel at its meeting held on 17 January 2011 in accordance with officer advice and the recommendation of the affected Parish Councils. The reasons for refusal were as follows:-

1. The Environmental Assessment is incomplete because it failed to provide the necessary information to allow proper assessment of the environmental impacts of the development: namely 7 of the 9 requested additional Photo-montages. The LPA cannot therefore take into consideration all the necessary environmental information and Regulation 3 of the Environmental Impact Assessment Regulations 1999 therefore prohibits the granting of planning permission.
2. Notwithstanding the lack of submitted information, it is considered that the development would have a significant adverse effect on the setting of cultural heritage assets including the Conservation areas of Kimbolton, Tilbrook and Stonely, Grade 1 and 2\* listed buildings including Kimbolton Castle, Kimbolton Castle Gatehouse, Church of St Andrew, Kimbolton, Church of All Saints Tilbrook and Warren House. The development would also have a significant adverse effect upon the character of the landscape as the turbines would dominate the views of the sensitive wooded ridge that divides the valleys of the Kym and Ellington Brooks and fail to respect existing landmark vertical features. The significant adverse effect of the proposed wind farm on the cultural heritage assets and character of the landscape, as a result of its dominance and visual intrusion, is not outweighed by the benefits of the development. The proposal is, therefore, contrary to Development Plan Policy, Development Management DPD proposed submission 2010 and SPD's Huntingdonshire Landscape and Townscape Assessment 2007 and Huntingdonshire Wind power 2006.

### **The Inspector's Reasons**

- In respect of the first reason for refusal the Inspector considered that the further environmental information submitted during the appeal process provided adequate information for the proposal to be considered.
- He considers that the Council's Wind Farm SPD provides a starting point for decision making and its adoption is relatively recent and it provides the most useful and relevant guidance on the relative landscape sensitivity and turbine capacity of different areas in Huntingdonshire.
- All 4 turbines would form a conspicuous group several times the height of the Kym valley and that turbines T2 and T4 would be dominant features straddling the valley crest. The turbines would compete with the spires of St Andrew's Church at Kimbolton and All Saints Church at Tilbrook and diminish their significance. Their precipitous siting would be clearly perceived behind the spire of Tilbrook Church and their moving blades would add significantly to a marked distracting and alien impact in an area of recognised landscape quality. He concludes that the turbines would appear unsympathetically located and conspicuously out of scale in relation to the intimate and sensitive Kym valley landscape and the settlements therein and that the chosen locations of Turbines 2 and 4 are directly contrary to the advice in the SPD.

- In terms of heritage assets he describes Kimbolton itself as a settlement of very significant heritage value and that the open space of the castle grounds is very important to the setting of the Castle and the wider character of the town. He considers that the Grade 1 Castle and Gatehouse are a planned composition and are a strong focal point and central feature within the Conservation Area and that the symmetrical axis results in additional significance to this historic townscape. The turbines would appear to a viewer looking northwards to grow out of the town roofs in an uncomfortable and anachronistic juxtaposition and would appear as a significant modern intrusion in this highly sensitive historic environment. He also describes the Castle as a significant visitor attraction with its historical association with Catherine of Aragon and that the turbines would be so prevalent in views that they would significantly erode and diminish that experience.
- The effect upon Tilbrook Conservation Area would be major and adverse because of the modern industrial character of the turbines which would be higher than the surrounding valley sides and out of character with them. The whole development would straddle the crest of the valley and significantly change its character.
- In terms of residential amenity whilst the Inspector identifies some harm to two residential properties he does not consider this so great as to make these houses unacceptable places in which to live. He also concludes that the degree of noise and disturbance caused by the appeal development would be acceptable.
- He states that the objections raised on the grounds of the impact on the cricket pitch and wildlife would not represent reasons for refusal for the scheme.
- The Inspector concludes that while he does not underestimate the importance of achieving significantly higher levels of renewable energy it is not the intention of the Government that all renewable energy schemes should be supported, irrespective of any harm that might be caused. He recognises that renewable energy projects are by definition sustainable and that there is a presumption in favour of sustainable development. However, in this case the harm that would occur to the attractive countryside in the Kym Valley by reason of the location of the turbines on the crest in direct contravention of the adopted SPD and the most serious contributing factor to the harm that would occur to heritage assets amounts to a very serious objection which would outweigh the environmental and economic benefits of the scheme and that therefore the appeal must be dismissed.

## **FORTHCOMING APPEALS**

**None**

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